

AGENDA
CITY OF MONTEVALLO
PLANNING AND ZONING COMMISSION

April 16, 2020 – 6:00 P M

**City of Montevallo
City Hall
541 Main Street
Montevallo, AL 35115**

PUBLIC HEARING

1. Verification of Quorum.

2. Call to Order.

3. Case No. SP19-008 New Dollar General – SR 119

This is a request from Robert Broadway, on behalf of the property owner, Lovelady Properties, for the approval of a site development plan for a retail store development.

The subject property is identified as Lot 1 of the Village Square Subdivision and is located south of the intersection of Freedom Parkway and State Route 119. The 2.5 acre subject property is zoned B-1 SD, and situated in Section 2, Township 22 South, Range 3 West; Parcel Identification No. 58-27-1-02-0-000-001.003.

4. Case No. SP20-001 HWY 25 Dollar General

This is a request from Robert Broadway, on behalf of the property owner, J T Adams, for the approval of a site development plan for a retail store development.

The subject property has an address of 110 Hwy 25 and is located between four public roads including Davis Street, Montgomery Street, Cedar Street and U.S. Hwy 25. The subject property is zoned B-2, and situated in Section 3, Township 24 North, Range 12 East; Parcel Identification No. 58-36-2-03-2-003-009.000.

5. Other Business.

6. Adjourn.

REPORT TO THE CITY OF MONTEVALLO

PLANNING & ZONING BOARD

Department of Development Services

April 16, 2020

Case No. SP19-008

Dollar General - Hwy 119

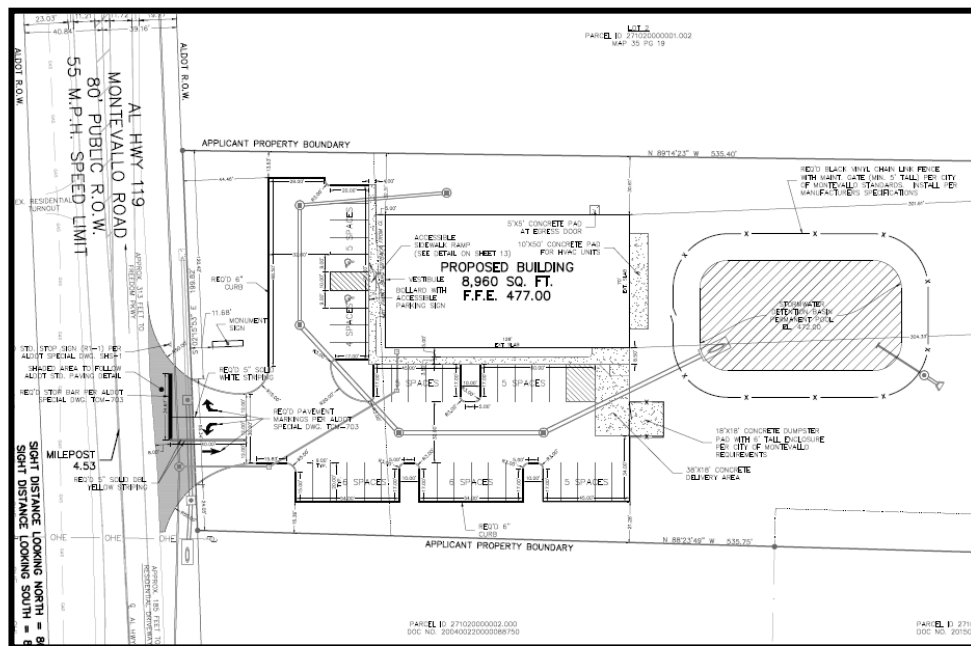
Site Development Plan

This is a request from Robert Broadway, on behalf of the property owner, Lovelady Properties, for the approval of a site development plan for a retail store development.

The subject property is identified as Lot 1 of the Village Square Subdivision and is located south of the intersection of Freedom Parkway and State Route 119. The 2.5 acre subject property is zoned B-1 SD, and situated in Section 2, Township 22 South, Range 3 West; Parcel Identification No. 58-27-1-02-0-000-001.003.

DISCUSSION

The subject property is Lot 1 of the Village Square Subdivision, approximately 300 feet south of the entrance to Lexington Parc at the intersection of Freedom Parkway and State Route 119. The property contains approximately 2.5 acres and is undeveloped. The site was previously cleared with the exception of the rear 70-80 feet adjoining Lexington Parc. The subject property is zoned B-1 SD, Neighborhood Business Special District according to the *Zoning Ordinance of the City of Montevallo*. The subject parcel is also located within the Scenic Corridor Overlay District. The B-1 Special District allows for the development of a commercial retail store on the subject parcel.

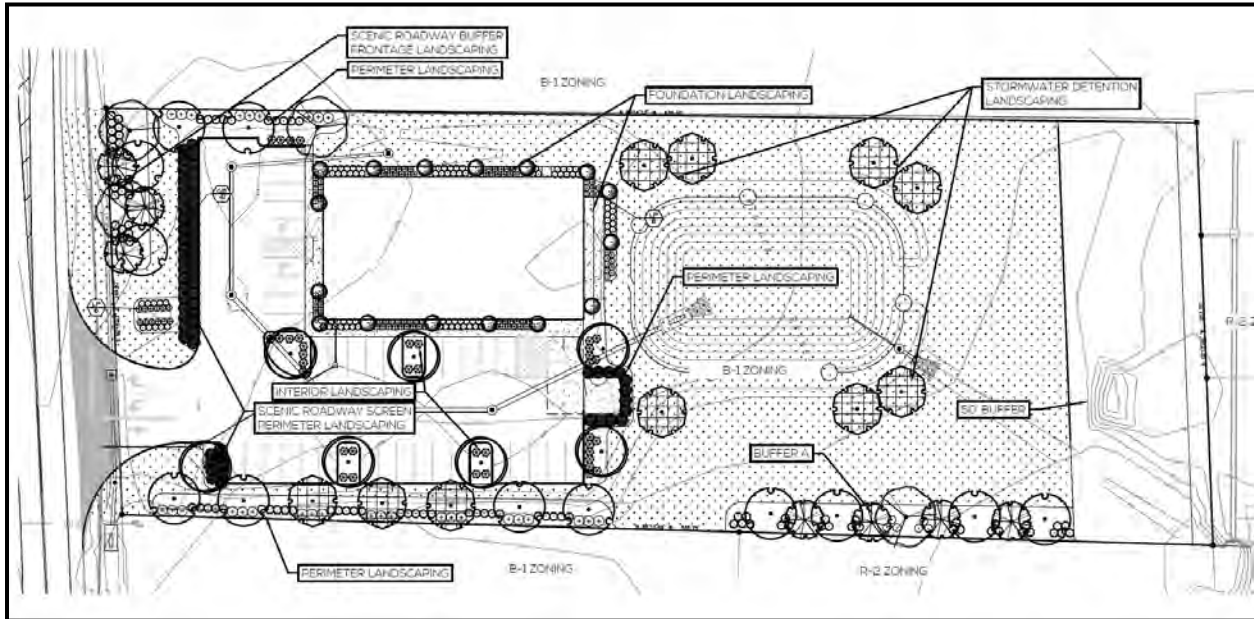


Proposed Site Development

The applicant proposes to construct an 8,960 square foot general retail store, identified as a Dollar General, on 2.5 acres. The subject property is located in the Scenic Corridor Overlay District and must meet the intent of Appendix E. Scenic Corridor Overlay District Design Standards and Guidelines as reviewed and approved by the Montevallo Design Review Committee.

Access

Access for the proposed retail store will be from State Route 119 as reviewed and approved by the Alabama Department of Transportation (ALDOT). A singular access is proposed on the south portion of the subject property. A copy of the access permit from ALDOT is required as part of the approval process for the site development plan. ALDOT did not required a traffic study for this proposal.



Parking

Parking spaces are provided as required at 36 spaces, including two ADA handicap spaces with a minimum of one van accessible space. General retail stores require a parking ratio of one space per every 250 square feet of floor area. The spaces provided meet the minimum number of spaces required for general retail. Retail developments in the SCOD specify that only a single parking aisle should be located in the front of the building with the remainder of parking located to the side or rear. Parking for the proposed development provides a single lane of parking in front of the store with the remaining required parking located to the side.

Design

The Montevallo Arbor and Beautification Board has reviewed the landscape plan for this development and has determined that landscaping for the development meets the requirements of Article 23 of the Montevallo Zoning Ordinance.

The Design Review Committee initially reviewed the proposal on February 11, 2020 and requested modifications to the initially proposed design. Included below are the incorporated changes requested by the DRC, including architectural changes and signage. The DRC will meet on April 14, 2020 to review the revised elevation plans.



Utilities

Montevallo Water Works and Sewer Board has completed a review of the plan set dated 2/24/2020 and determined it to meet the minimum requirements of the *Montevallo Water Works and Sewer Board Standard Specifications*. The review was completed with regard to potable water and sanitary sewer only. The following items are required as part of the plan approval and should be identified on a certified plan set.

1. Sheet 12 and Sheet 14
 - a. Montevallo Water and Sewer Board representative shall be present when any work is performed on the water system and/or the sewer system.
 - b. All work on the water system and the sewer system must be performed by a licensed contractor.

Grading and Storm Water

The City Engineer has reviewed the drawings and finds the drawings to be in substantial compliance with the Special District and the Zoning Ordinance. Prior to final certification of the site development plan the following items must be added to the plan set.

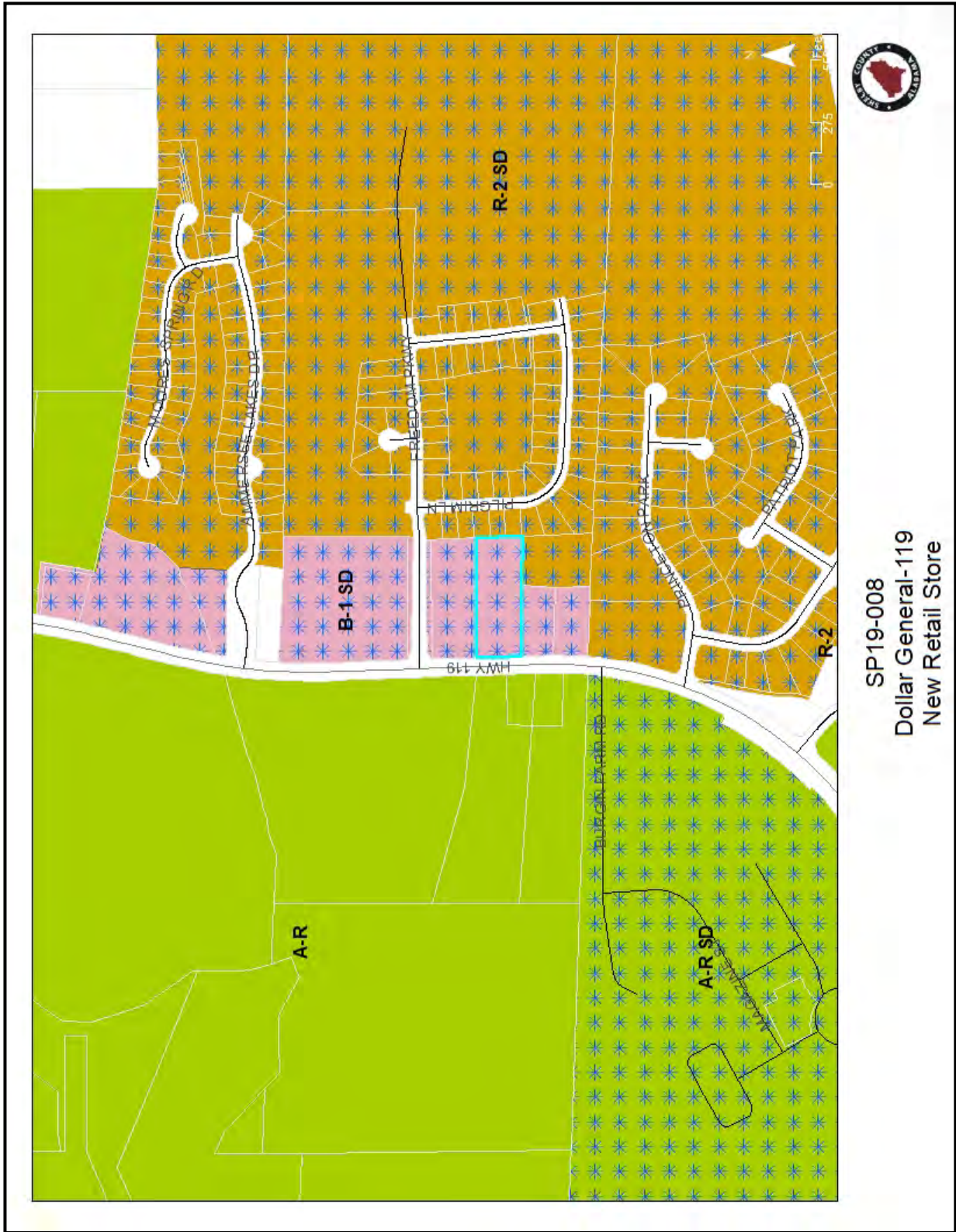
1. The site benchmark per the Schoel land title survey must be added to sheets 4, 8, 10 & 13.
2. An approved ALDOT Turn-Out permit must be provided prior to commencement of project construction.
3. A Land Disturbance Permit and bonding must be approved and in place including evidence of an ADEM General NPDES coverage.

The applicant has submitted the Land Development permit application and it is currently under review.

Summary

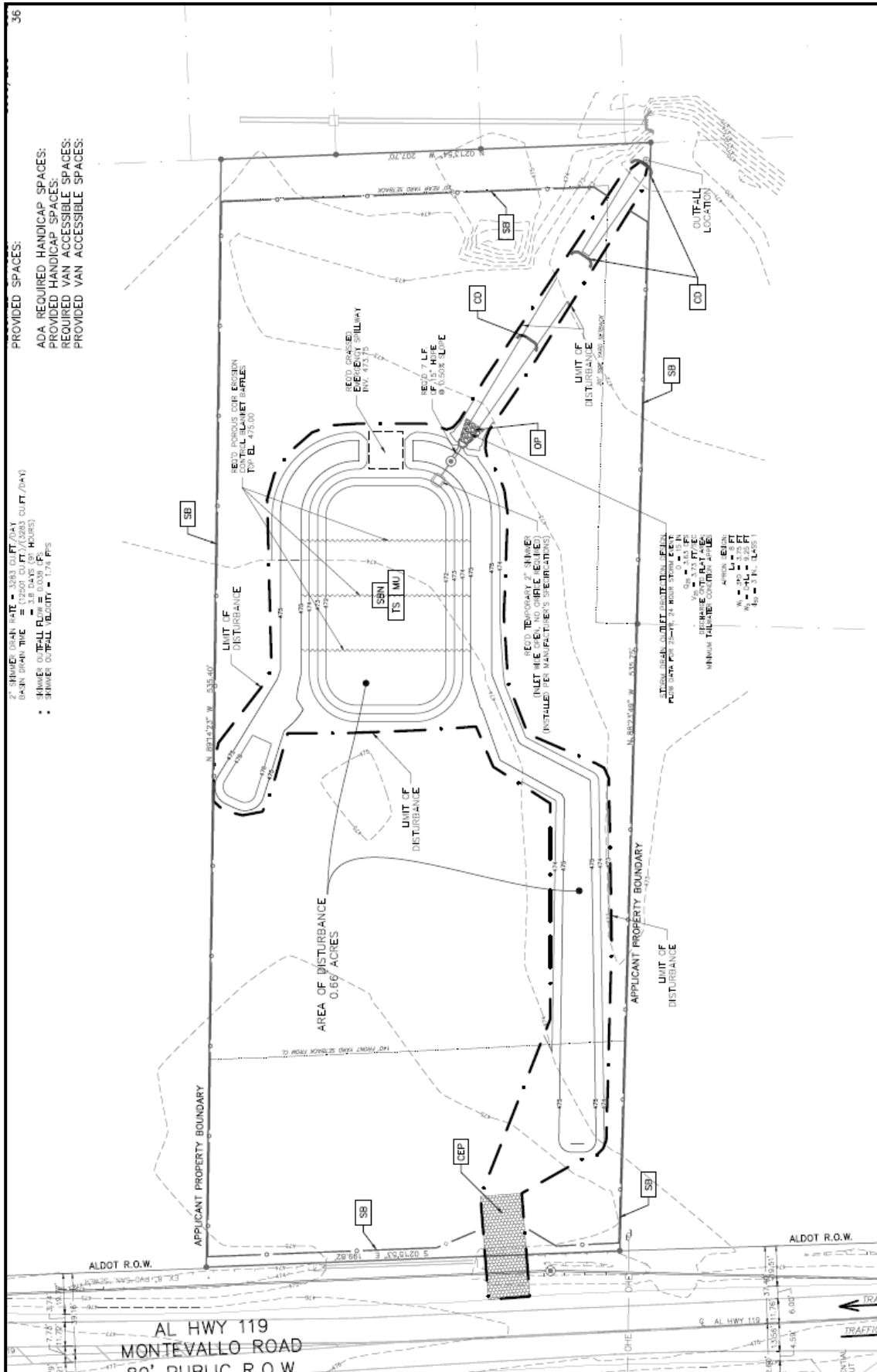
The proposed development is consistent with the *Zoning Ordinance of the City of Montevallo* including *Appendix E. Scenic Corridor Overlay District Design Standards and Guidelines*. **Approval** of the site plan should be subject to:

- The applicant submitting a revised site plan that addresses all remaining minor corrections;
- The applicant completing all required bonding and submitting a final site plan for certification prior to the issuance of building permits;
- Compliance with the regulations, policies and guidelines of the City of Montevallo;
- Approval by the Montevallo City Council.



SP19-008
Dollar General-119
New Retail Store

Area of Disturbance and BMPs



- NOTES**
1. THIS LOT CONTAINS 2.50 ACRES, MORE OR LESS.
 2. THIS LOT IS ZONED B1--SD, NEIGHBORHOOD BUSINESS SPECIAL DISTRICT, IN THE SCENIC CORRIDOR OVERLAY DISTRICT.
 3. THIS PROPERTY IS LOCATED IN SECTION 2, TOWNSHIP 22 SOUTH, RANGE 3 WEST, SHELBY COUNTY, ALABAMA.
 4. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY SCHOEL ENGINEERING COMPANY, INC., HUNTSVILLE, ALABAMA.

PARKING LOT CONSTRUCTION NOTES

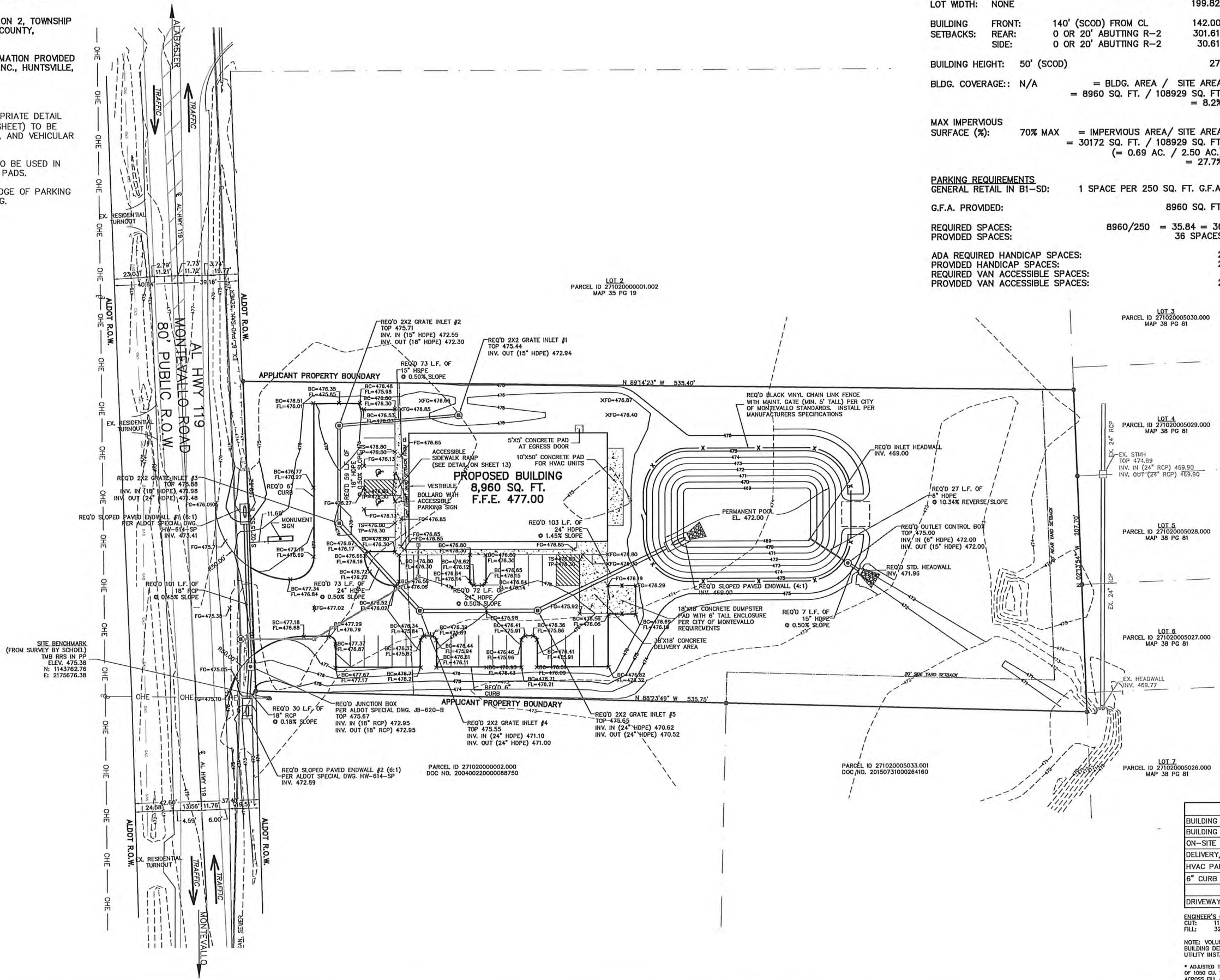
1. HEAVY DUTY PAVEMENT (PER APPROPRIATE DETAIL SHOWN ON CONSTRUCTION DETAILS SHEET) TO BE USED IN DRIVEWAYS, ACCESS AISLES, AND VEHICULAR PARKING STALLS.
2. HEAVY DUTY CONCRETE PAVEMENT TO BE USED IN AREAS OF DUMPSTER AND DELIVERY PADS.
3. CONCRETE CURB REQUIRED ALONG EDGE OF PARKING TO PROTECT PERIMETER LANDSCAPING.

SITE PLAN DATA TABLE

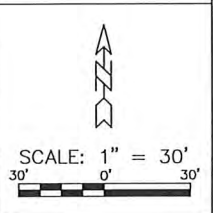
REQ'D BY ZONING:	PER DRAWINGS:
CURRENT ZONING:	B1--SD (SCOD)
LOT SIZE:	108,929 SQ FT (2.50 AC.)
LOT WIDTH:	199.82'
BUILDING FRONT:	140' (SCOD) FROM CL
SETBACKS: REAR:	0 OR 20' ABUTTING R-2
SIDE:	0 OR 20' ABUTTING R-2
BUILDING HEIGHT:	50' (SCOD)
BLDG. COVERAGE:	N/A
	= BLDG. AREA / SITE AREA
	= 8960 SQ. FT. / 108929 SQ. FT.
	= 8.2%
MAX IMPERVIOUS SURFACE (%):	70% MAX
	= IMPERVIOUS AREA / SITE AREA
	= 30172 SQ. FT. / 108929 SQ. FT.
	(= 0.69 AC. / 2.50 AC.)
	= 27.7%
PARKING REQUIREMENTS	
GENERAL RETAIL IN B1--SD:	1 SPACE PER 250 SQ. FT. G.F.A.
G.F.A. PROVIDED:	8960 SQ. FT.
REQUIRED SPACES:	8960/250 = 35.84 = 36
PROVIDED SPACES:	36 SPACES
ADA REQUIRED HANDICAP SPACES:	2
PROVIDED HANDICAP SPACES:	2
REQUIRED VAN ACCESSIBLE SPACES:	1
PROVIDED VAN ACCESSIBLE SPACES:	2



DRAWN BY:	JAC
DATE:	11-12-2019
REVISED:	03-24-2020
SITE PLAN	
SHEET 4 OF 19	



NEW RETAIL STORE
AL HWY 119
MONTEVALLO, AL
SHELBY COUNTY



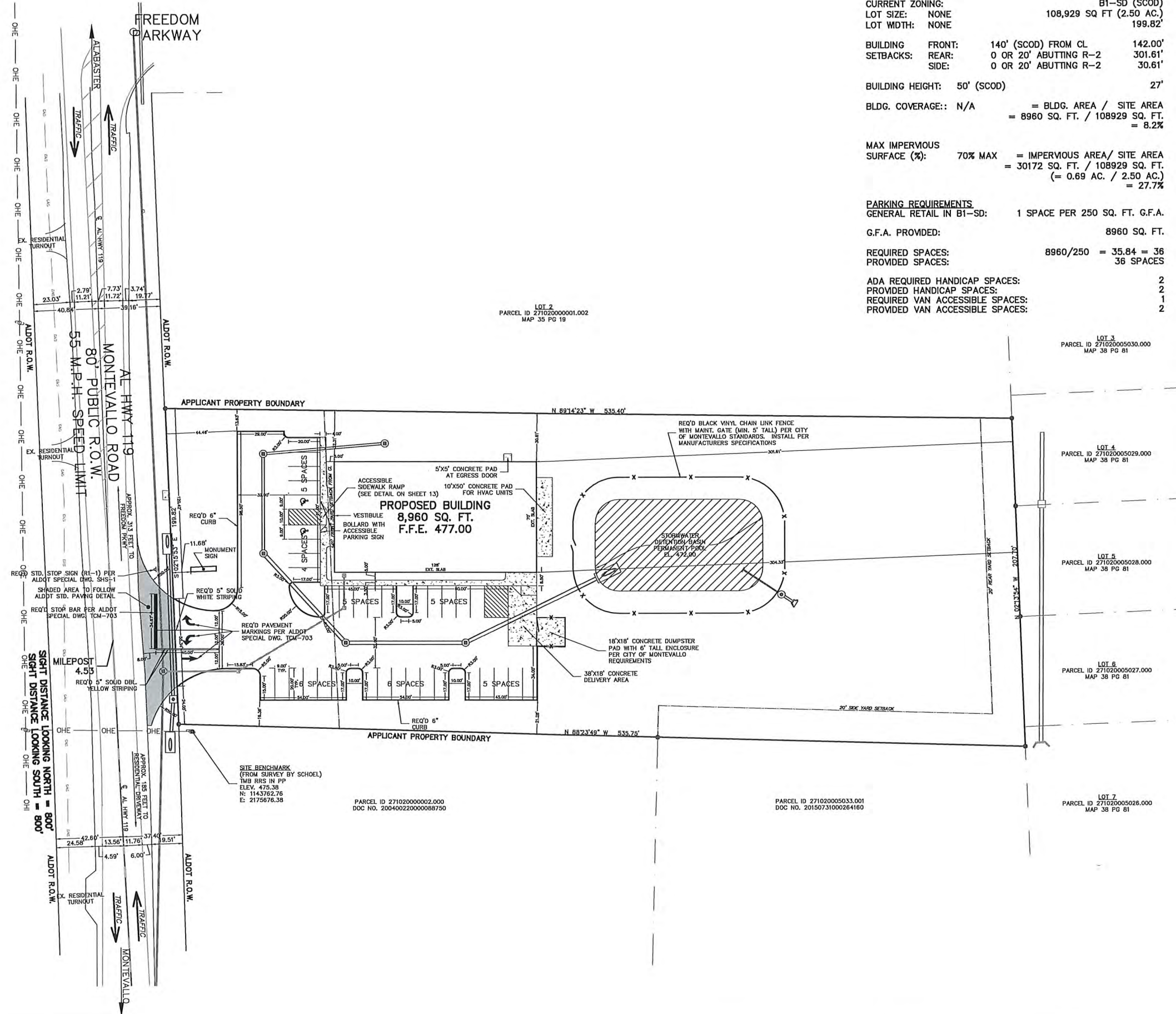
SITE QUANTITIES	
BUILDING SLAB	8960 SQ. FT.
BUILDING SIDEWALKS	1129 SQ. FT.
ON-SITE PAVEMENT	18225 SQ. FT.
DELIVERY/DUMPSTER AREA	1008 SQ. FT.
HVAC PAD	500 SQ. FT.
6" CURB	700 LIN. FT.
R.O.W. QUANTITIES	
DRIVEWAY PAVEMENT	1655 SQ. FT.

ENGINEER'S OPINION OF EARTHWORK
CUT: 1125 CU. YD.
FILL: 3245 CU. YD.*
NOTE: VOLUMES DO NOT ACCOUNT FOR SHRINK/SWELL, BUILDING DEMOLITION, REMOVAL OF UNSUITABLE MATERIAL, UTILITY INSTALLATION, ETC.
* ADJUSTED TO INCLUDE AN ESTIMATED TOPSOIL REPLACEMENT VOLUME OF 1050 CU. YD. (BASED ON AN ASSUMED 6" OF TOPSOIL REMOVAL ACROSS FILL AREAS OF SITE).

- NOTES**
1. THIS LOT CONTAINS 2.50 ACRES, MORE OR LESS.
 2. THIS LOT IS ZONED B1-SD, NEIGHBORHOOD BUSINESS SPECIAL DISTRICT, IN THE SCENIC CORRIDOR OVERLAY DISTRICT.
 3. THIS PROPERTY IS LOCATED IN SECTION 2, TOWNSHIP 22 SOUTH, RANGE 3 WEST, SHELBY COUNTY, ALABAMA.
 4. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY SCHOEL ENGINEERING COMPANY, INC., HUNTSVILLE, ALABAMA.

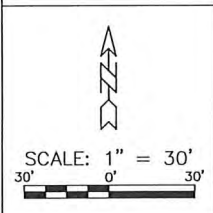
SITE PLAN DATA TABLE

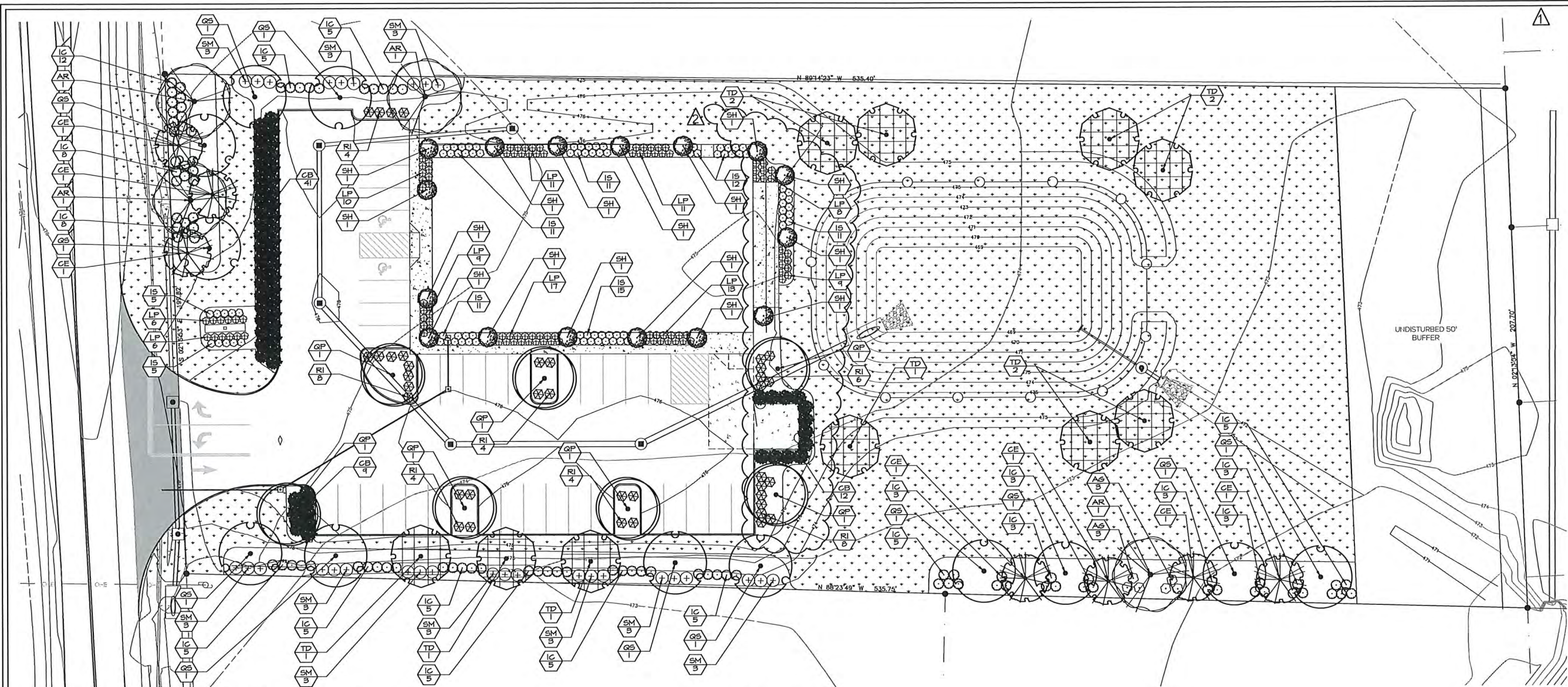
REQ'D BY ZONING:	PER DRAWINGS:	
CURRENT ZONING:	B1-SD (SCOD)	
LOT SIZE:	NONE	108,929 SQ FT (2.50 AC.)
LOT WIDTH:	NONE	199.82'
BUILDING SETBACKS:	FRONT: 140' (SCOD) FROM CL REAR: 0 OR 20' ABUTTING R-2 SIDE: 0 OR 20' ABUTTING R-2	142.00' 301.61' 30.61'
BUILDING HEIGHT:	50' (SCOD)	27'
BLDG. COVERAGE:	N/A	= BLDG. AREA / SITE AREA = 8960 SQ. FT. / 108929 SQ. FT. = 8.2%
MAX IMPERVIOUS SURFACE (%):	70% MAX	= IMPERVIOUS AREA / SITE AREA = 30172 SQ. FT. / 108929 SQ. FT. (= 0.69 AC. / 2.50 AC.) = 27.7%
PARKING REQUIREMENTS	GENERAL RETAIL IN B1-SD: 1 SPACE PER 250 SQ. FT. G.F.A.	
G.F.A. PROVIDED:	8960 SQ. FT.	
REQUIRED SPACES:	8960/250 = 35.84 = 36	
PROVIDED SPACES:	36 SPACES	
ADA REQUIRED HANDICAP SPACES:	2	
PROVIDED HANDICAP SPACES:	2	
REQUIRED VAN ACCESSIBLE SPACES:	1	
PROVIDED VAN ACCESSIBLE SPACES:	2	



DRAWN BY:	JAC
DATE:	11-12-2019
REVISED:	03-24-2020
LAYOUT PLAN	
SHEET 13 OF 19	

NEW RETAIL STORE
AL HWY 119
MONTEVALLO, AL
SHELBY COUNTY





CITY OF MONTEVALLO LANDSCAPE REQUIREMENTS

FRONTAGE LANDSCAPE:
 1 LARGE TREE OR 3 SMALL TREES AND 10 S-RUBS PER 40 LF
 PERIMETER TREES REQUIRED - 4 LARGE TREES & 3 SMALL TREES
 PERIMETER TREES PROVIDED - 4 LARGE TREES & 3 SMALL TREES
 PERIMETER SHRUBS REQUIRED - 50
 PERIMETER SHRUBS PROVIDED - 50

INTERIOR LANDSCAPE:
 1 TREE AND 4 SHRUBS PER 150 SF OF LANDSCAPE AREA
 INTERIOR TREES REQUIRED - 4
 INTERIOR TREES PROVIDED - 5
 INTERIOR SHRUBS REQUIRED - 16
 INTERIOR SHRUBS PROVIDED - 20

PERIMETER LANDSCAPE:
 1 LARGE TREE PER 40 LF AND 10 S-RUBS FOR 20 LF
 437 LF OF 10' LANDSCAPE BUFFER
 PERIMETER TREES REQUIRED - 12
 PERIMETER TREES PROVIDED - 12
 PERIMETER SHRUBS REQUIRED - 148
 PERIMETER SHRUBS PROVIDED - 148

FOUNDATION LANDSCAPE:
 1 SMALL TREE AND 10 SHRUBS PER 25 LF
 398 LF OF 5' LANDSCAPE STRIP
 FOUNDATION SMALL TREES REQUIRED - 16
 FOUNDATION SMALL TREES PROVIDED - 16
 FOUNDATION SHRUBS REQUIRED - 159
 FOUNDATION SHRUBS PROVIDED - 150

BUFFER A LANDSCAPE:
 3 LARGE TREES, 2 SMALL TREES, AND 20 SHRUBS PER 100 LF
 165 LF OF 10' LANDSCAPE BUFFER
 BUFFER A LARGE TREES REQUIRED - 5
 BUFFER A LARGE TREES PROVIDED - 5
 BUFFER A SMALL TREES REQUIRED - 4
 BUFFER A SMALL TREES PROVIDED - 4
 BUFFER A INTERIOR SHRUBS REQUIRED - 33
 BUFFER A INTERIOR SHRUBS PROVIDED - 34

- LANDSCAPE NOTES:**
- CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES ON THE SITE. REPAIR DAMAGED UTILITIES TO OWNER'S SATISFACTION AT NO ADDITIONAL COST.
 - VERIFY QUANTITIES ON PLANS BEFORE PRICING WORK AND PROVIDE PLANT MATERIAL IN SIZES AND VARIETIES SHOWN ON THE DRAWINGS AND PLANT LIST.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED ONE FULL YEAR, FREE REPLACEMENT ON LABOR & MATERIAL. SEPARATE AGREEMENT WITH INSTALLER SHALL BE PROVIDED, TO INCLUDE CONTACT NAME/PH. NUMBERS
 - SOD ALL AREAS ACCORDING TO LANDSCAPE PLAN AND SEED ALL OTHERS.
 - LANDSCAPE ARCHITECT MAY OR MAY NOT AT HIS/HER DISCRETION ACCEPT SUBSTITUTIONS.
 - PROVIDE FRESHLY DUG TREES AND SHRUBS. DO NOT USE NATURALLY COLLECTED MATERIALS.
 - PLANT MATERIAL STORED ON THE SITE MORE THAN 8 HOURS PRIOR TO PLANTING SHALL BE HILLED IN WITH MULCH AND KEPT MOIST.
 - INSTALL ALL PLANT MATERIALS IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
 - STAKE PLANT LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE INSTALLATION. ADJUST STAKE LOCATIONS AS DIRECTED.
 - ALL PLANTS SHALL MEET SPECIFICATIONS. ROOTBALLS SHALL MEET OR EXCEED SIZE STANDARDS SET FORTH IN ANSI Z601 'AMERICAN STANDARD FOR NURSERY STOCK'. MAIN LEADERS OF ALL TREES SHALL REMAIN INTACT.
 - MULCH PLANT PITS AND PLANTING BEDS WITH PINE STRAW OR SHREDDED WOOD CHIPS TO A DEPTH OF 3 INCHES.
 - PREPARE ALL TOPSOIL TO BE USED IN ALL PLANTING AREAS IN THE FOLLOWING PROPORTIONS:
 4 PARTS TOP SOIL
 2 PARTS DECOMPOSED ORGANIC MATTER
 1 PART APPROVED SOIL AMENDMENT
 1 PART MYCORRHIZAE FUNGI PER MANUFACTURER SPEC'S
 - REMOVE FROM SITE ANY PLANT MATERIAL WHICH TURNS BROWN OR DEFOLIATES WITHIN 5 DAYS AFTER PLANTING. REPLACE IMMEDIATELY WITH APPROVED SPECIFIED PLANT MATERIAL.
 - WHEN LANDSCAPE WORK IS COMPLETE, LANDSCAPE ARCHITECT WILL, UPON REQUEST MAKE AN INSPECTION TO DETERMINE ACCEPTABILITY.
 - MAINTAIN ALL PLANT MATERIAL UNTIL THE JOB IS ACCEPTED IN FULL BY THE LANDSCAPE ARCHITECT UNLESS OTHERWISE SPECIFIED.
 - LOCATE PLANT MATERIAL PRIOR TO SUBMITTING BID / OR QUALIFY BID WITH RECOMMENDED PLANT SUBSTITUTIONS. SUBMISSION OF BID SHALL CONSTITUTE CONTRACTORS ACCEPTANCE OF PLANT AVAILABILITY.
 - ALL TREES WILL BE MULCHED WITH PINE STRAW OR SHREDDED WOOD CHIPS, AND BE STAKED AS SHOWN ON DRAWINGS. STAKES AND GUY WIRE TO BE REMOVED BY AND REMAIN THE PROPERTY OF THE CONTRACTOR

PLANT SCHEDULE

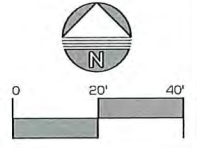
TREES	CODE	BOTANICAL / COMMON NAME
	AR	<i>Acer rubrum</i> 'FNI 0268' TM / October Glory Maple
	CE	<i>Cercis canadensis</i> / Eastern Redbud Multi-trunk
	SH	<i>Ilex x 'Nellie R. Stevens'</i> / Nellie R. Stevens Holly STD Limbed to 5'
	QP	<i>Quercus phellos</i> / Willow Oak
	QS	<i>Quercus shumardii</i> / Shumard Red Oak
	TD	<i>Taxodium distichum</i> / Bald Cypress
SHRUBS	CODE	BOTANICAL / COMMON NAME
	AS	<i>Abelia x grandiflora</i> / Glossy Abelia
	CB	<i>Cleyera japonica</i> 'Bronze Beauty'
	IC	<i>Ilex cornuta</i> 'Carissa' / Carissa Holly
	IS	<i>Ilex crenata</i> 'Soft Touch' / Soft Touch Japanese Holly
	LP	<i>Loropetalum chinense</i> 'Purple Pixie' / Purple Pixie
	RI	<i>Raphiolepis indica</i> / Indian Hawthorn
	SM	<i>Spiraea x bumalda</i> 'Goldmound' / Gold Mound Spiraea
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
		<i>Cynodon dactylon</i> / Bermuda Grass

TOTAL LANDSCAPE AREA 1.80 ACRES

CITY OF MONTEVALLO PARKING TOTALS
 PARKING REQUIRED: 36 SPACES
 PARKING PROVIDED: 36 SPACES

NOTE: THE OWNER, LESSEE, OR HIS AGENT SHALL BE RESPONSIBLE FOR PROVIDING, MAINTAINING, AND PROTECTING ALL LANDSCAPING IN A HEALTHY AND GROWING CONDITION, AND FOR KEEPING IT FREE FROM REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD MATERIALS SHALL BE REPLACED WITHIN ONE YEAR AFTER NOTIFICATION OR DURING THE NEXT APPROPRIATE PLANTING PERIOD, WHICHEVER COMES FIRST.

NOTE: THE SOD SHALL BE PLACED ON THE PREPARED SURFACE WITH THE EDGES IN CLOSE CONTACT, CRACKS BETWEEN BLOCKS OF SOD SHALL BE CLOSED WITH SMALL PIECES OF SOD, AND ACCEPTABLE LOAMY TOP SOIL SHALL BE USED TO FILL JOINTS. THE ENTIRE SODDED AREA SHALL THEN BE TAMPED IN PLACE IN A SATISFACTORY MANNER AND WATERED AS NECESSARY.



Civil Engineering | Land Surveying | Landscape Architecture
 Environmental | Water Resources | Laser Scanning - Modeling

SCHUBEL

1001 32nd Street South
 Birmingham, Alabama 35205
 Phone: (205) 331-1221
 Fax: (205) 331-1221



MONTEVALLO STORE
 NEW RETAIL STORE
 SECTION 2 TOWNSHIP 22 SOUTH RANGE 3 WEST

REVISIONS:

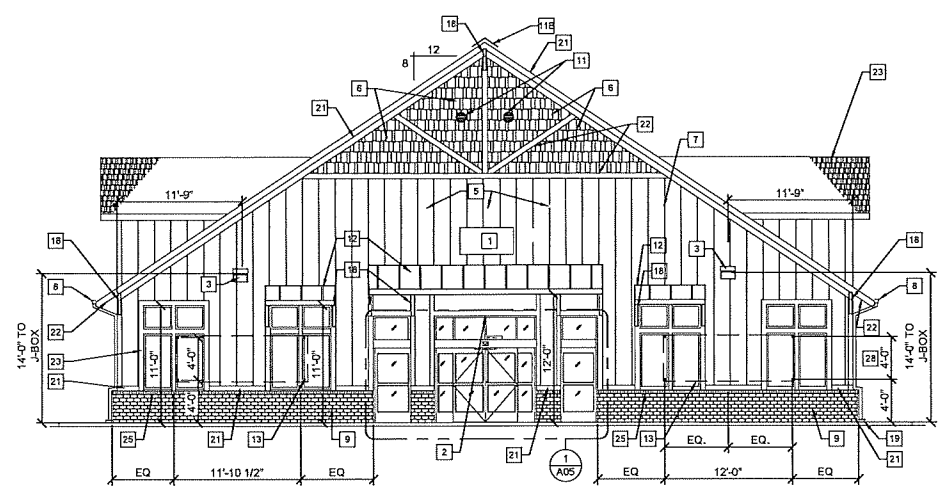
02.03.2020 - CITY OF MONTEVALLO/SHELBY COUNTY COMMENTS
02.19.2020 - REVISED IRRIGATION BASED ON ENGINEER REVISIONS

LANDSCAPE PLAN

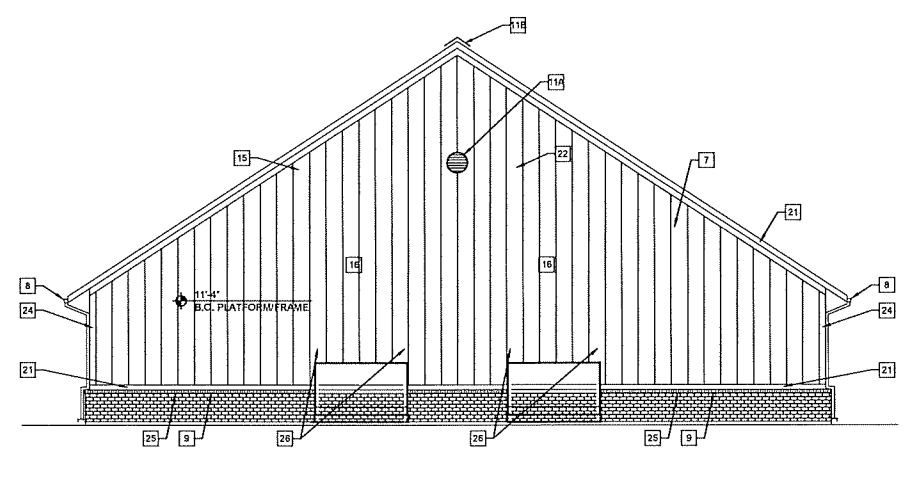
DATE: 11/19/2019
 DRAWN BY: M. ROBINSON
 CHECKED BY: C. ORCUTT
 PROJECT NO.: 19278.HO



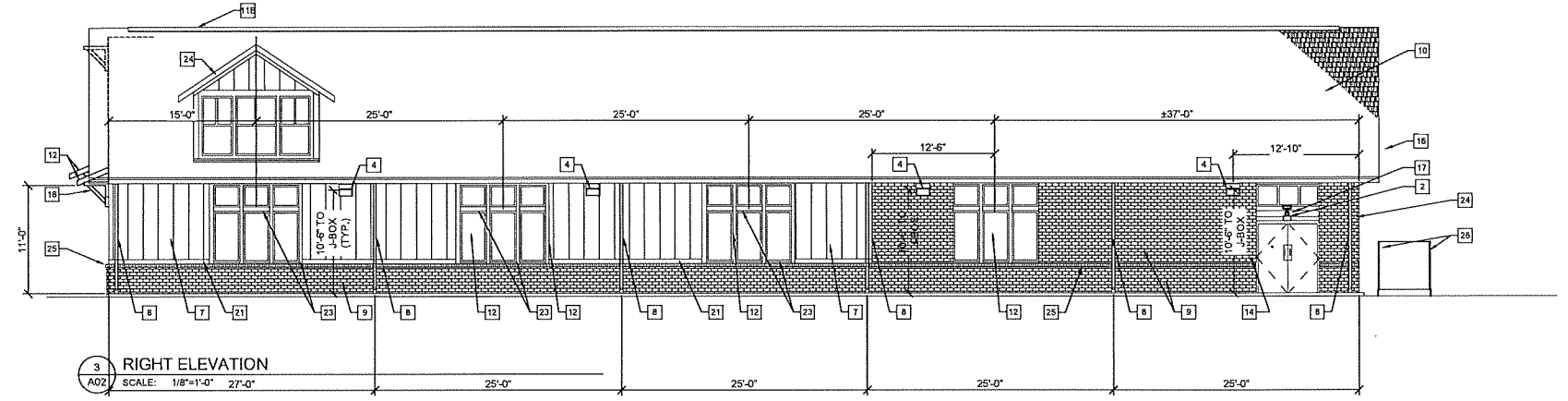
NEW RETAIL STORE
DGH B WD FRAME VESTIBULE
MONTVALLO, ALABAMA



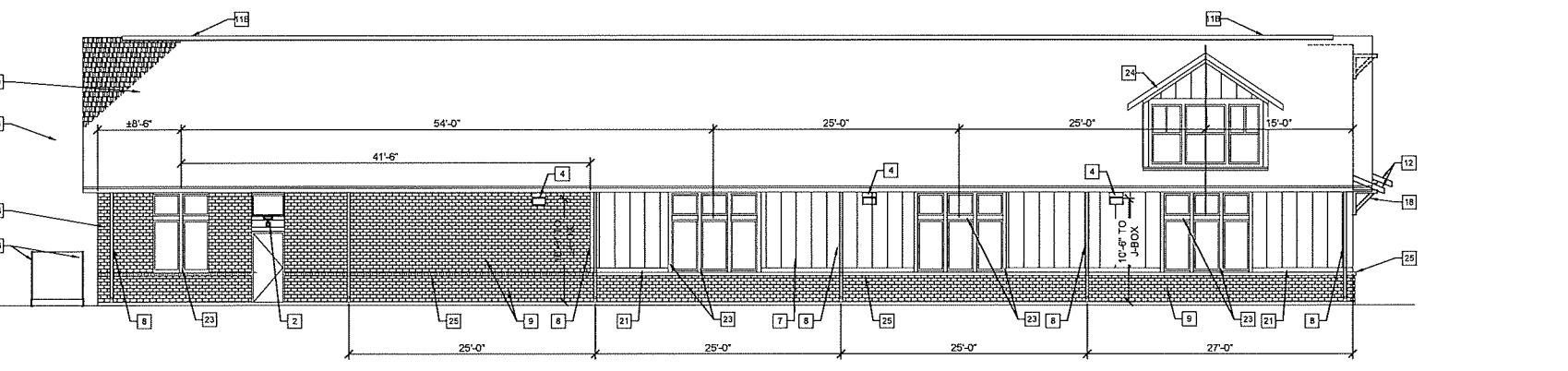
1 FRONT ELEVATION
A02 SCALE: 1/8"=1'-0"



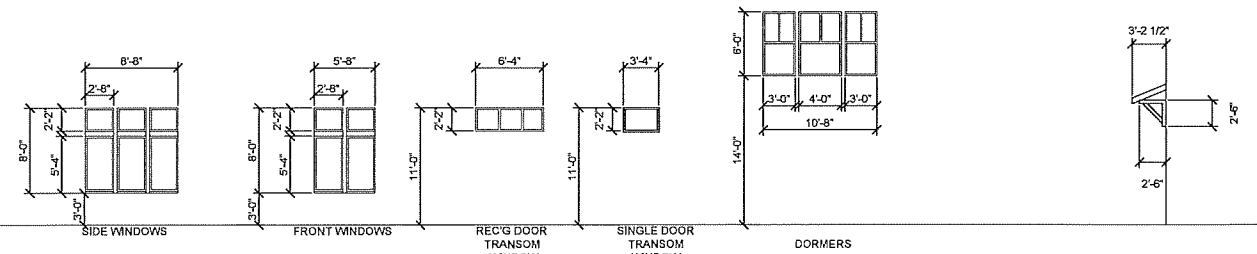
2 REAR ELEVATION
A02 SCALE: 1/8"=1'-0"



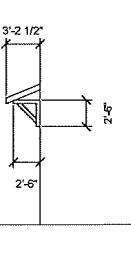
3 RIGHT ELEVATION
A02 SCALE: 1/8"=1'-0" 27'-0"



5 WINDOW SCHEDULE
A02 SCALE: 1/8"=1'-0"



6 BRACKET
A02 SCALE: 1/8"=1'-0"



EXTERIOR FINISHES	BRICK	WOOD	STONE	GLASS	METALLIC BRONZE	WHITE
EXTERIOR FINISHES ARE TO MATCH OR BE EQUAL TO STANDARDS SHOWN UNLESS AUTHORITY HAVING JURISDICTION DOES NOT ALLOW.						
GUTTERS						
DOWN SPOUTS						
SIDES AND REAR OF BUILDING FIBER CEMENT SIDING & TRIM, RECEIVING & EMERGENCY EXIT DOORS (EXTERIOR OF DOORS TO BE PAINTED, REFER TO DOOR SCHEDULE FOR INTERIOR)						
FRONT OF BUILDING FIBER CEMENT SIDING & TRIM						
BRICK (NATURAL SIMILAR COLOR ALLOWED)						
SOFFITS AT STOREFRONT ENTRANCE AND UNDER EAVES						
STANDING SEAM METAL AWNING						
STOREFRONT SYSTEM						
LINER PANELS (INTERIOR SALES AND RECEIVING FLOOR)						

NOTE:
1. REFER TO SHEET T01 FOR ADDITIONAL INFORMATION ON RECOMMENDED NATIONAL ACCOUNT VENDORS.
2. NATIONAL ACCOUNT AND CONTACT INFORMATION SUBJECT TO CHANGE.

ELEVATION KEYED NOTES

- SIGN FURNISHED AND INSTALLED BY DOLLAR GENERAL CORP. WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. COORDINATE THE PROPER SIGNAGE TO BE USED WITH DOLLAR GENERAL.
- LED SECURITY LIGHT. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- FLOOD LIGHT. REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO.
- LED WALL PACK. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- GOOSE NECK LIGHTS FOR SIGNAGE. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND COORDINATE FINAL LOCATION AND TYPE WITH SIGN VENDOR.
- PRE-PAINTED FIBER CEMENT SHAKE SIDING, STAGGERED BOTTOMS. COLOR TO MATCH BOARD AND BATTEN SIDING.
- PRE-PAINTED FIBER CEMENT BOARD AND BATTEN SIDING - WOODGRAIN SURFACE; 2 1/2" BATTENS 16" O.C. SECURE BATTENS TO A WALL STUD OR NAILER; DO NOT ATTACH ONLY TO WALL SHEATHING; 8" EXPOSURE. SEE FINISH LEGEND FOR PREFERRED COLOR.
- PRE-FINISHED METAL GUTTER AND DOWNSPOUT.
- BRICK VENEER - STANDARD OR ECONOMY SIZE ACCEPTABLE - SEE FINISH LEGEND FOR PREFERRED COLOR.
- ASPHALT SHINGLE ROOFING OVER #15 FELT VAPOR BARRIER OVER 5/8" PLYWOOD ROOF DECK.
- 1" DIAMETER VENTS IN WALL NEAR TOP OF GABLE.
- 2" DIAMETER VENTS IN WALL NEAR TOP OF GABLE.
- RIDGE VENT AT TOP OF GABLES.
- METAL CANOPY, SUPPORTED BY WOOD BRACKETS.
- 1/2" DIAMETER x 6" LONG STAINLESS STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS, CONNECT BACK TO BLOCKING IN WOOD STUD WALL, AND CAULK AND SEAL OPENINGS. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY. TOTAL OF 8 BOLTS.
- DOOR BUZZER. REFER TO E01 FOR ADDITIONAL INFORMATION.
- MOUNT SATELLITE DISH TO HVAC STAND AND RAISE ABOVE HVAC UNITS - RUN CONDUIT FROM DISH TO BUILDING AND INTO CABLE TRAY.
- HVAC UNITS MOUNTED ON RAISED RACK SUPPORT. REFER TO MECHANICAL SHEET M1 FOR MORE INFORMATION.
- OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOORS @ 8'-0" A.F.F.
- 30" P.T. 4X4 WOOD BRACKET EA. SIDE OF CANOPY, PAINTED WHITE TO MATCH TRIM.
- FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NDN PAVED AREAS.
- WINDOW; SEE SCHEDULE.
- PRE-PAINTED FIBER CEMENT BASE WALL TRIM, RAKE TRIM AND/OR FASCIA TRIM: 2X6 FASCIA BOARDS
- PRE-PAINTED SMOOTH SURFACE 8" FIBER CEMENT TRIM BOARDS BELOW SOFFITS AND IN DECORATIVE PATTERN PER S/A02. SEE FINISH LEGEND FOR PREFERRED COLOR.
- PRE-PAINTED FIBER CEMENT BOARD WINDOW TRIM: 2X6
- PRE-PAINTED FIBER CEMENT RAKE TRIM AND/OR FASCIA TRIM: 2X4 FASCIA BOARDS
- BRICK ROWLOCK COURSE AT TOP OF BRICK
- 3 1/2" OIA. PAINTED STEEL GALVANIZED POST AND RACK SUPPORT(TYP.) FOR MECHANICAL UNITS. ELEVATE UNITS 12'-0" AFF. - SEE STRUCTURAL FOR DETAILS.

WINDOW/DOOR AREA CALCULATIONS FOR ZONING			
TOTAL ELEVATION AREA	FRONT SIDES	1614	
	SIDES	2836	
	TOTAL	4450	SQFT
MINIMUM DOORS/WIN 30%		1335	SDFT
ACTUAL DOORS/WIN L	FRONT SIDES	490	
	SIDES	811	
	TOTAL	1341	SDFT

APPENDIX 3.E.1 ARCHITECTURAL FEATURES (MIN 2):
1. BRACKETS
2. TRANSOMS
3. CHANGE IN VENEERS

PROJECT: 49.09.19
DRAWN: AWP
DATE: 01/20/2020

SHEET TITLE
EXTERIOR ELEVATIONS
SHEET NO.
A2



ELEVATION KEYED NOTES

- 1 SIGN FURNISHED AND INSTALLED BY DOLLAR GENERAL CORP. WITH CIRCUIT AS NOTED ON ELECTRICAL PLAN. SIGN TO BE CENTERED ON FRONT OF BUILDING. CONTRACTOR IS TO PROVIDE ADEQUATE BLOCKING AS REQUIRED BY SIGN MANUFACTURER TO SUPPORT SIGN WEIGHT OF UP TO 1,400 LBS. COORDINATE THE PROPER SIGNAGE TO BE USED WITH DOLLAR GENERAL.
- 2 LED SECURITY LIGHT. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 3 FLOOD LIGHT. REFER TO ELEC. DRAWINGS FOR ADDITIONAL INFO.
- 4 LED WALL PACK. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
- 5 GOOSE NECK LIGHTS FOR SIGNAGE. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND COORDINATE FINAL LOCATION AND TYPE WITH SIGN VENDOR.
- 6 PRE-PAINTED FIBER CEMENT SHAKE SIDING, STAGGERED BOTTOMS. COLOR TO MATCH BOARD AND BATTEN SIDING.
- 7 PRE-PAINTED FIBER CEMENT BOARD AND BATTEN SIDING - WOODGRAIN SURFACE; 2.5" BATTENS 16" O.C. SECURE BATTENS TO A WALL STUD OR NAILER; DO NOT ATTACH ONLY TO WALL SHEATHING. 8" EXPOSURE. SEE FINISH LEGEND FOR PREFERRED COLOR.
- 8 PRE-FINISHED METAL GUTTER AND DOWNSPOUT.
- 9 BRICK VENEER - STANDARD OR ECONOMY SIZE ACCEPTABLE - SEE FINISH LEGEND FOR PREFERRED COLOR.
- 10 ASPHALT SHINGLE ROOFING OVER #15 FELT VAPOR BARRIER OVER 5/8" PLYWOOD ROOF DECK.
- 11 1" DIAMETER VENTS IN WALL NEAR TOP OF GABLE.
- 11A 2" DIAMETER VENTS IN WALL NEAR TOP OF GABLE.
- 11B RIDGE VENT AT TOP OF GABLE.
- 12 METAL CANOPY, SUPPORTED BY WOOD BRACKETS.
- 13 1/2" DIAMETER x 6" LONG STAINLESS STEEL EYE BOLTS (CLOSED) WITH 1" DIAMETER OPENINGS. CONNECT BACK TO BLOCKING IN WOOD STUD WALL, AND CAULK AND SEAL OPENINGS. 4 BOLTS TO BE LOCATED AS SHOWN EACH SIDE OF ENTRY, TOTAL OF 8 BOLTS.
- 14 DOOR BUZZER. REFER TO E01 FOR ADDITIONAL INFORMATION.
- 15 MOUNT SATELLITE DISH TO HVAC STAND AND RAISE ABOVE HVAC UNITS - RUN CONDUIT FROM DISH TO BUILDING AND INTO CABLE TRAY.
- 16 HVAC UNITS MOUNTED ON RAISED RACK SUPPORT. REFER TO MECHANICAL SHEET M1 FOR MORE INFORMATION.
- 17 OUTSIDE AIR TEMP. SENSOR MOUNTED OVER RECEIVING DOORS @ 8'-0" A.F.F.
- 18 30" P.T. 4X4 WOOD BRACKET EA. SIDE OF CANOPY, PAINTED WHITE TO MATCH TRIM.
- 19 FINISHED GRADE AT EXTERIOR WALLS SHALL BE A MINIMUM OF 6" BELOW FINISHED FLOOR AT ALL NON PAVED AREAS.
- 20 WINDOW; SEE SCHEDULE.
- 21 PRE-PAINTED FIBER CEMENT BASE WALL TRIM, RAKE TRIM AND/OR FASCIA TRIM: 2X6 FASCIA BOARDS.
- 22 PRE-PAINTED SMOOTH SURFACE 8" FIBER CEMENT TRIM BOARDS BELOW SOFFITS AND IN DECORATIVE PATTERN PER S/A02. SEE FINISH LEGEND FOR PREFERRED COLOR.
- 23 PRE-PAINTED FIBER CEMENT BOARD WINDOW TRIM: 2X6.
- 24 PRE-PAINTED FIBER CEMENT RAKE TRIM AND/OR FASCIA TRIM: 2X4 FASCIA BOARDS.
- 25 BRICK ROWLOCK COURSE AT TOP OF BRICK.
- 26 3 1/2" DIA. PAINTED STEEL GALVANIZED POST AND RACK SUPPORT (TYP.) FOR MECHANICAL UNITS. ELEVATE UNITS 12'-0" AFF. - SEE STRUCTURAL FOR DETAILS.

EXTERIOR FINISHES	SHERWIN WILLIAMS #7037 - "BALANCED"	SHERWIN WILLIAMS #7032 - "WARM"	SHERWIN WILLIAMS #7041 - "VAN DYKE"	METALLIC BRONZE	WHITE
GUTTERS					
DOWN SPOUTS					
SIDES AND REAR OF BUILDING FIBER CEMENT SIDING & TRIM, RECEIVING & EMERGENCY EXIT DOORS (EXTERIOR OF DOORS TO BE PAINTED, REFER TO DOOR SCHEDULE FOR INTERIOR)					
FRONT OF BUILDING FIBER CEMENT SIDING & TRIM					
BRICK (NATURAL SIMILAR COLOR ALLOWED)					
SOFFITS AT STOREFRONT ENTRANCE AND UNDER EAVES					
STANDING SEAM METAL AWNING					
STOREFRONT SYSTEM					
LINER PANELS (INTERIOR SALES AND RECEIVING FLOOR)					

NOTE:
1. REFER TO SHEET T01 FOR ADDITIONAL INFORMATION ON RECOMMENDED NATIONAL ACCOUNT VENDORS.
2. NATIONAL ACCOUNT AND CONTACT INFORMATION SUBJECT TO CHANGE.

WINDOW/DOOR AREA CALCULATIONS FOR ZONING		
TOTAL ELEVATION AREA	FRONT	1614
	SIDES	2836
	TOTAL	4450 SQFT
MINIMUM DOORS/WIN 30%		1335 SQFT
ACTUAL DOORS/WIN L	FRONT	490
	SIDES	911
	TOTAL	1341 SQFT

APPENDIX 3.E.1 ARCHITECTURAL FEATURES (MIN 2):
1. BRACKETS
2. TRANSOMS
3. CHANGE IN VENEERS

NEW RETAIL STORE
DGH B WD FRAME VESTIBULE
MONTEVALLO, ALABAMA

PROJECT: 49.09.19

DRAWN: AWP

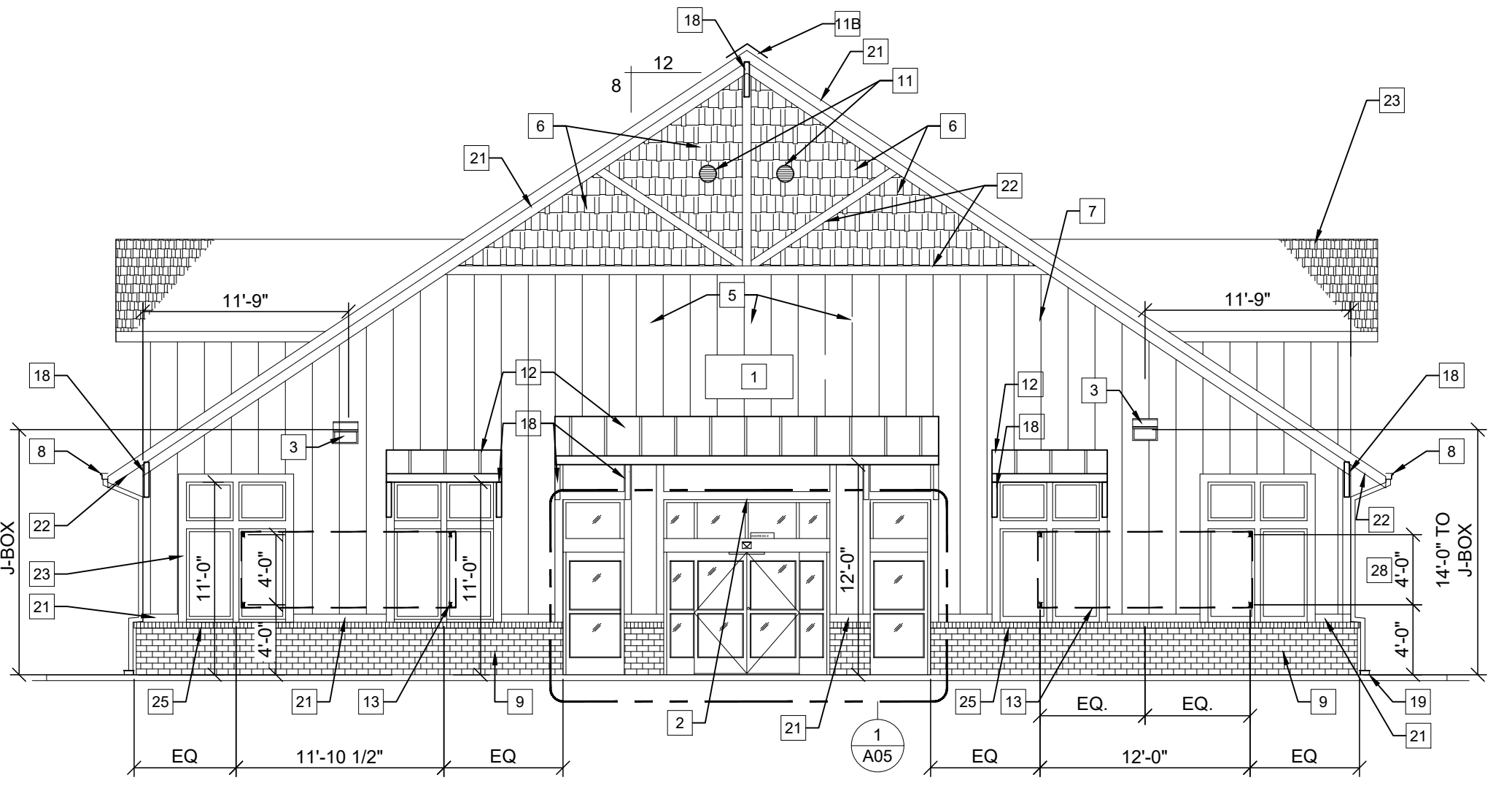
DATE: 01/20/2020

REVISIONS

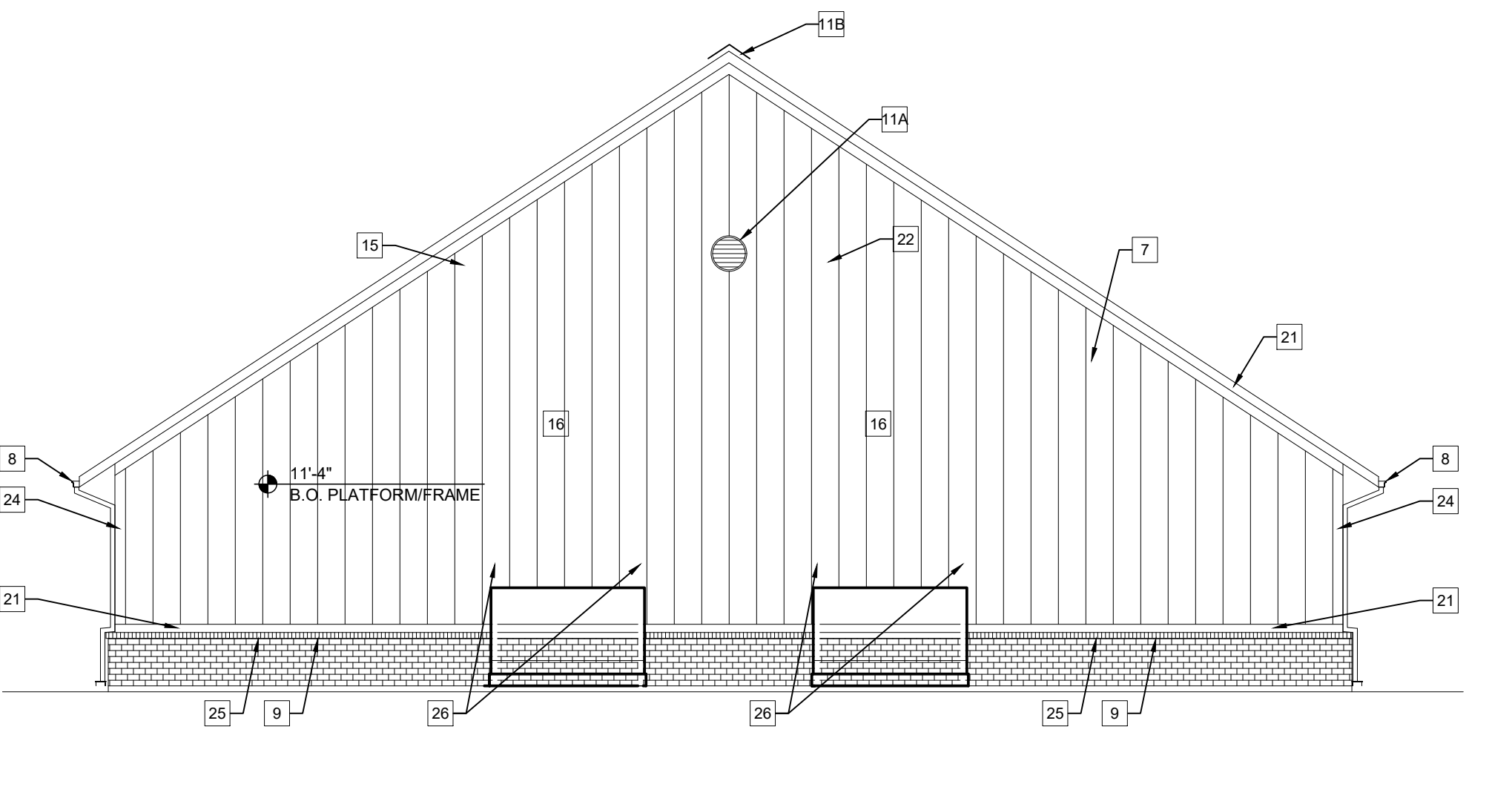
SHEET TITLE
EXTERIOR ELEVATIONS

SHEET NO.

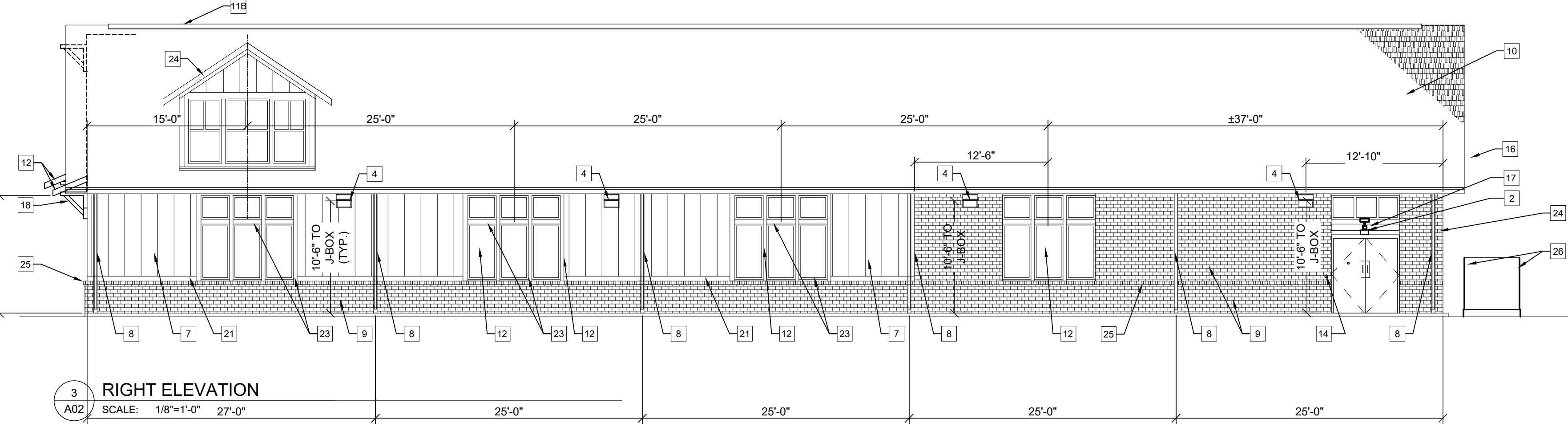
A2



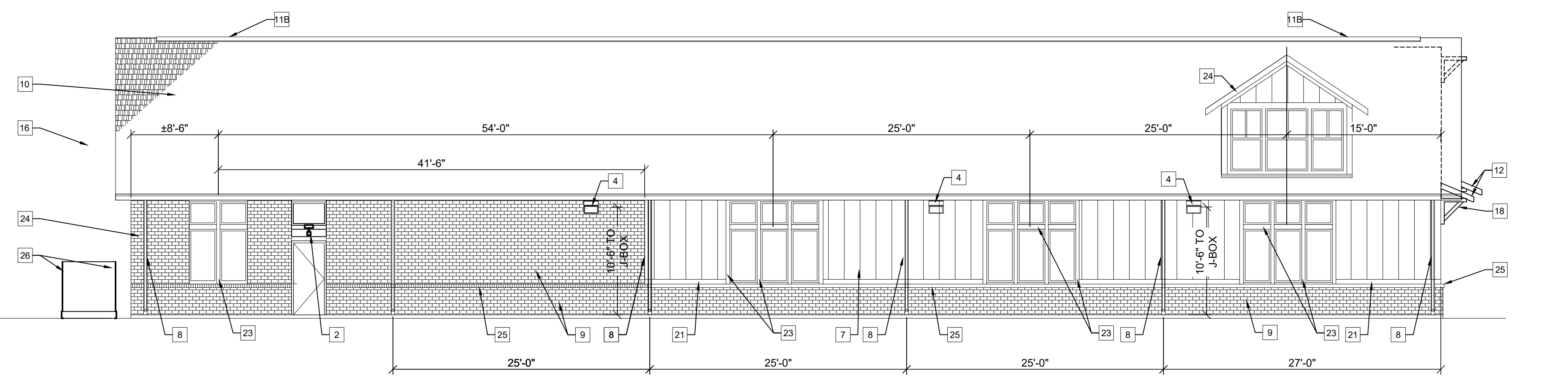
1 FRONT ELEVATION
A02 SCALE: 1/8"=1'-0"



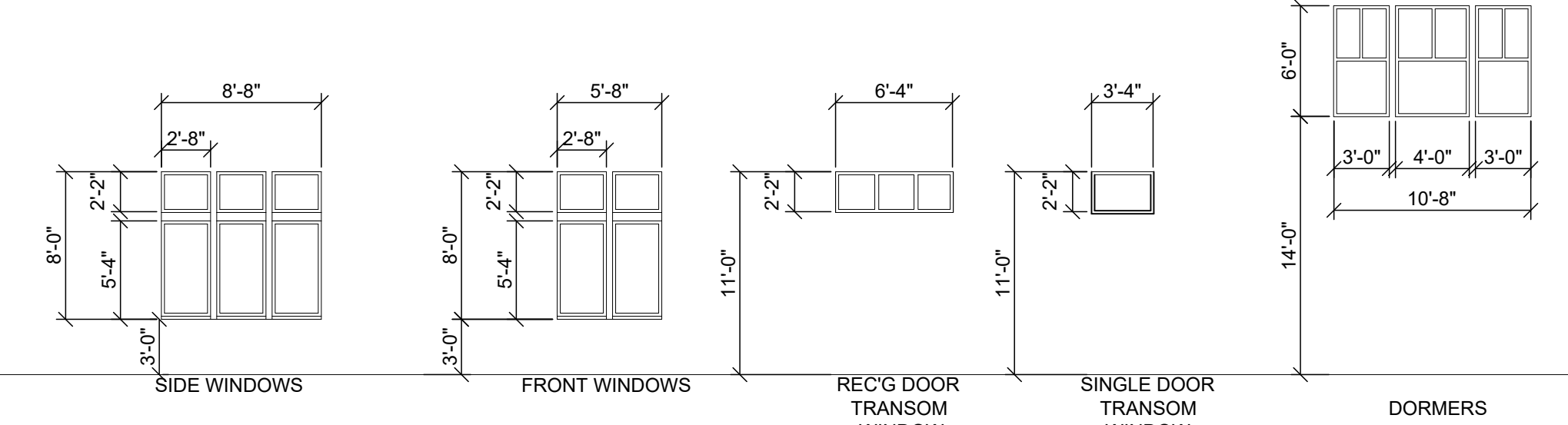
2 REAR ELEVATION
A02 SCALE: 1/8"=1'-0"



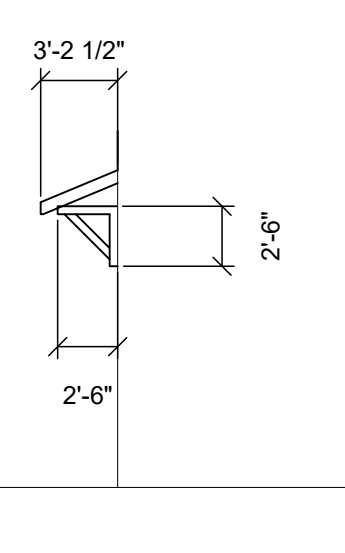
3 RIGHT ELEVATION
A02 SCALE: 1/8"=1'-0" 27'-0"



5 WINDOW SCHEDULE
A02 SCALE: 1/8"=1'-0"



6 BRACKET
A02 SCALE: 1/8"=1'-0"













**DOLLAR
GENERAL**

**DOLLAR
GENERAL**

REPORT TO THE CITY OF MONTEVALLO

PLANNING & ZONING BOARD

Department of Development Services

April 16, 2020

Case No. SP20-001 Dollar General - Hwy 25 Site Development Plan

This is a request from Robert Broadway, on behalf of the property owner, J T Adams, for the approval of a site development plan for a retail store development.

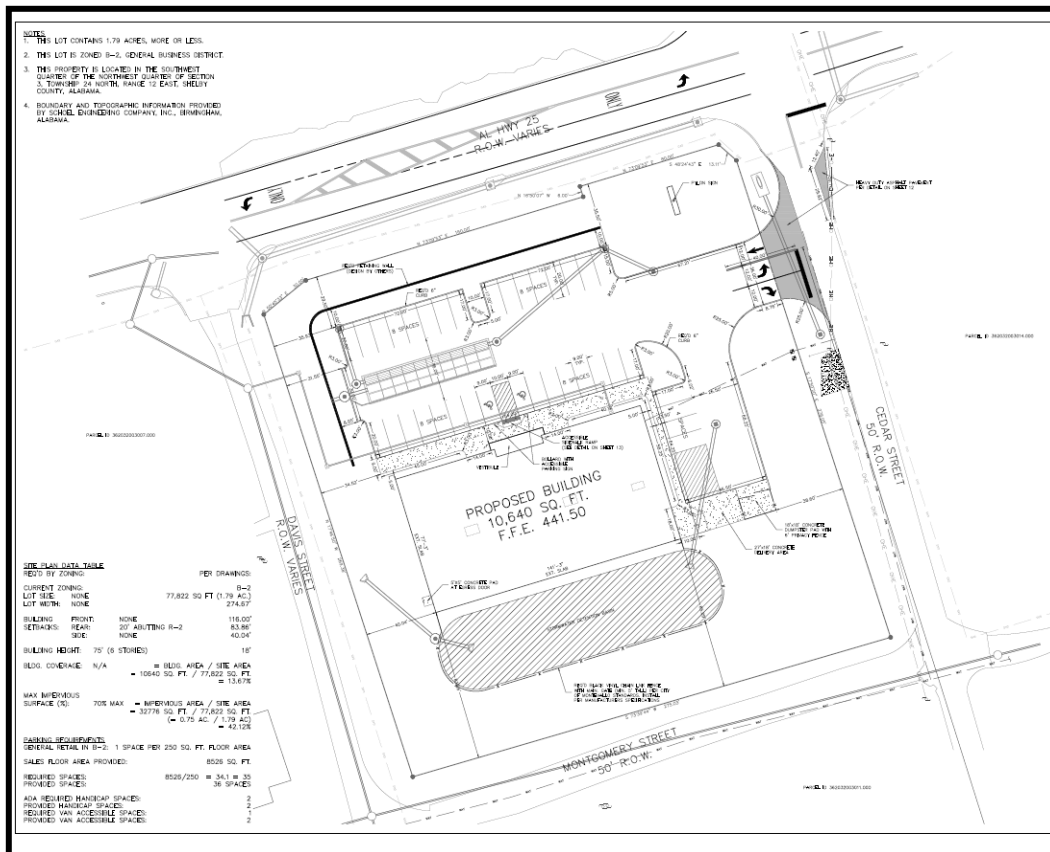
The subject property is located at 110 Hwy 25 and is surrounded by four public roads including Davis Street, Montgomery Street, Cedar Street and U.S. Hwy 25. The subject property is zoned B-2, and situated in Section 3, Township 24 North, Range 12 East; Parcel Identification No. 58-36-2-03-2-003-009.000.

DISCUSSION

The subject property is located along State Route 25 approximately 900 feet east of the intersection of Selma Street and SR 25. The property contains approximately 1.79 acres and a single-family residential structure that was previously utilized as a commercial business. The subject property is zoned B-2, General Business District according to the *Zoning Ordinance of the City of Montevallo*.

Proposed Site Development

The applicant proposes to construct a 10,640 square foot general retail store, identified as a Dollar General, with 8,526 square feet of sales area.



Access

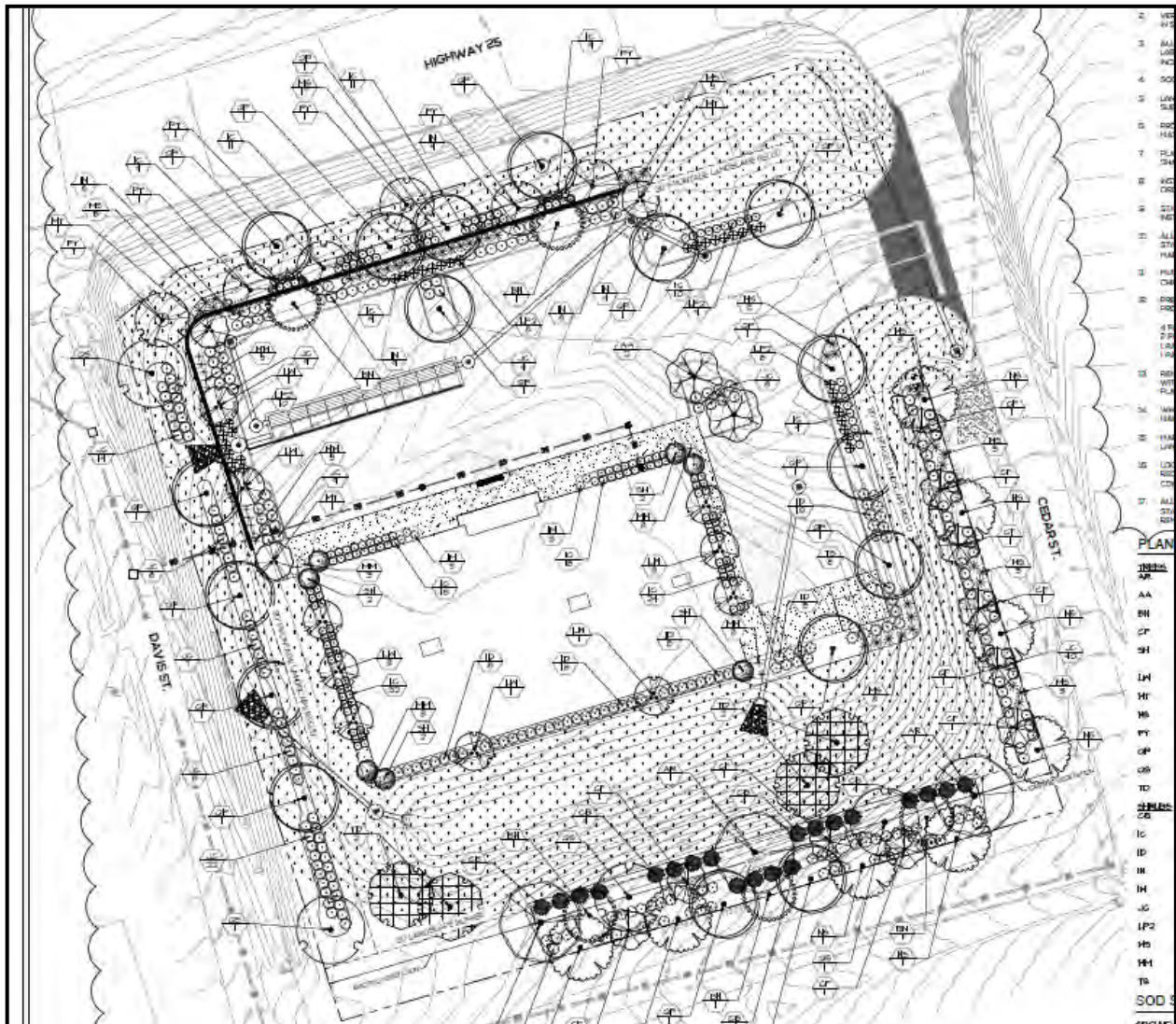
The subject property is surrounded on four sides by public roads; three city streets and one state highway, State Route 25. A single access location from Cedar Street is proposed for the retail store. Cedar Street is a city road. A traffic study was not requested for this project.

Parking

A total of 36 parking spaces are provided including two ADA handicap spaces with a minimum of one van accessible space. General retail stores require a parking ratio of one space per every 250 square feet of floor area. The spaces provided meet the minimum number of spaces required for general retail.

Landscaping

Frontage landscape buffers are required on all side of the subject property due to the four public roads that surround it. The Arbor and Beautification Board has reviewed the required buffers, perimeter landscaping, parking island landscaping and foundation plantings and have found the plans meet the intent of the landscape regulations of Article 23. A bond must be completed for landscape materials and installation prior to construction. The applicant has additionally been made aware of some additional minor text correction on the site plan documents.



Utilities

Montevallo Water Works and Sewer Board has completed a review of the plan set dated 2/24/2020 and determined it to meet the minimum requirements of the *Montevallo Water Works and Sewer Board Standard Specifications*. The review was completed in regards to potable water and sanitary sewer only. The following items are required on Sheet 10 as part of the plan approval and should be identified on a certified plan set.

1. Montevallo Water and Sewer Board representative shall be present when any work is performed on the water system and/or the sewer system.
2. All work on the water system and the sewer system must be performed by a licensed contractor.

Grading and Storm Water

The City Engineer has reviewed the drawings and finds the drawings to be in substantial compliance with the Special District and the Zoning Ordinance. Prior to final certification of the site development plan the following items must be added to the plan set.

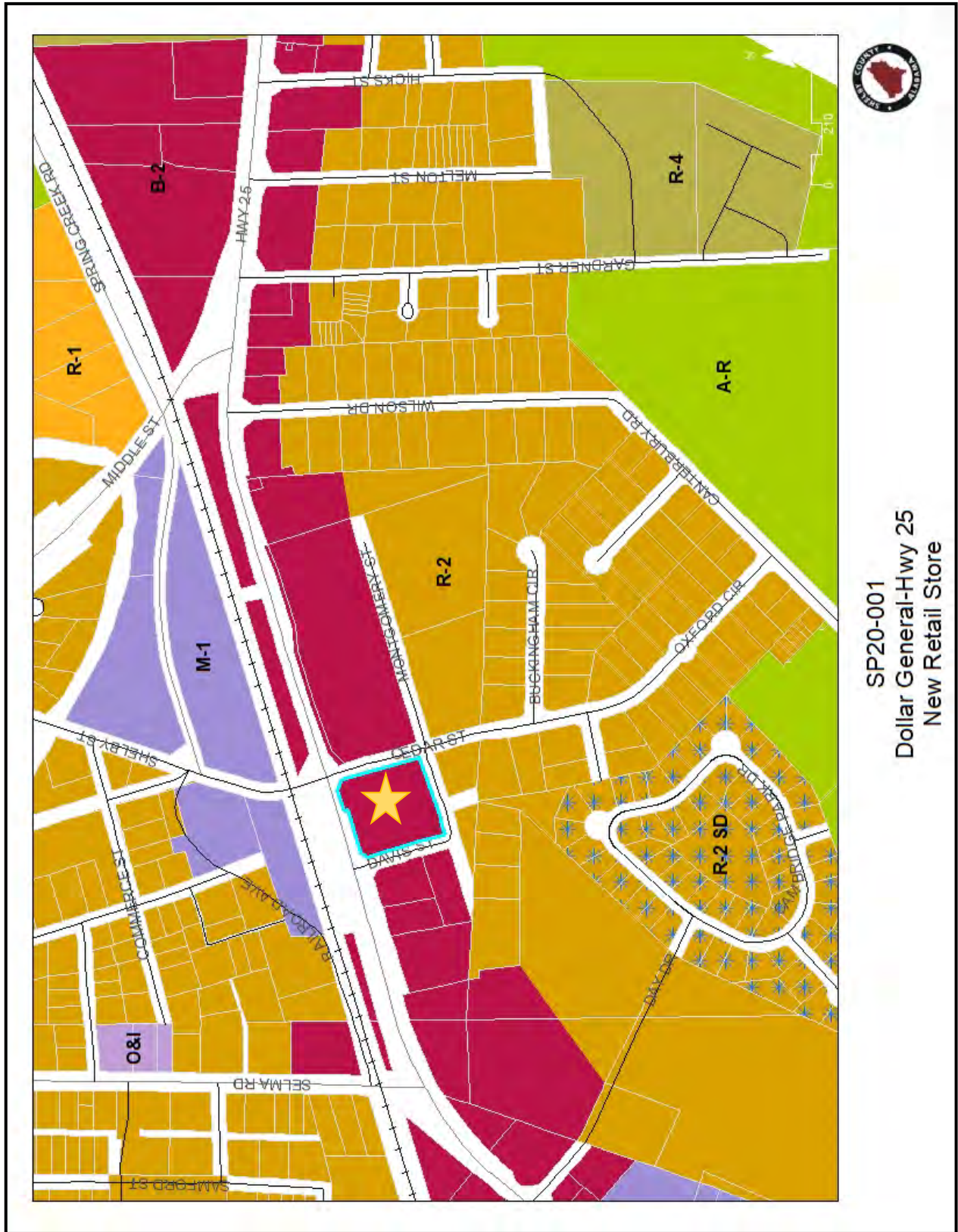
1. Please include the horizontal coordinates and vertical elevation data in the plans for the benchmark shown on the provided land title survey.
2. Correction of minor typographical error on Note No. 8 in the "Earthwork General Notes"

A Land Disturbance Permit and bonding must be approved and in place including evidence of an ADEM General NPDES coverage.

Summary

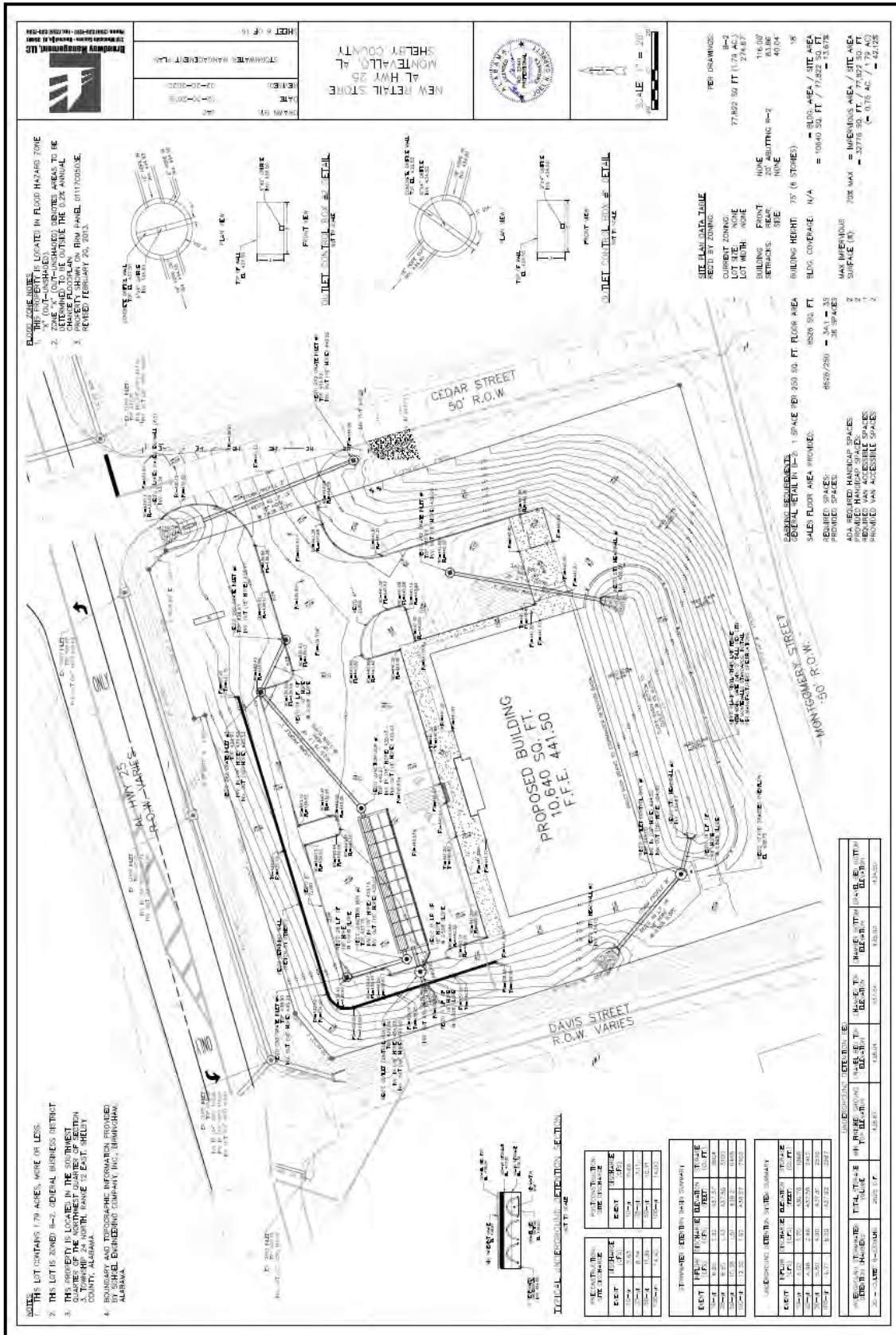
The proposed development is consistent with the *Zoning Ordinance of the City of Montevallo*. **Approval** of the site plan should be subject to:

- The applicant submitting a revised site plan that addresses all remaining minor corrections;
- The applicant completing all required bonding and submitting a final site plan for certification prior to the issuance of building permits;
- Compliance with the regulations, policies and guidelines of the City of Montevallo;
- Approval by the Montevallo City Council.

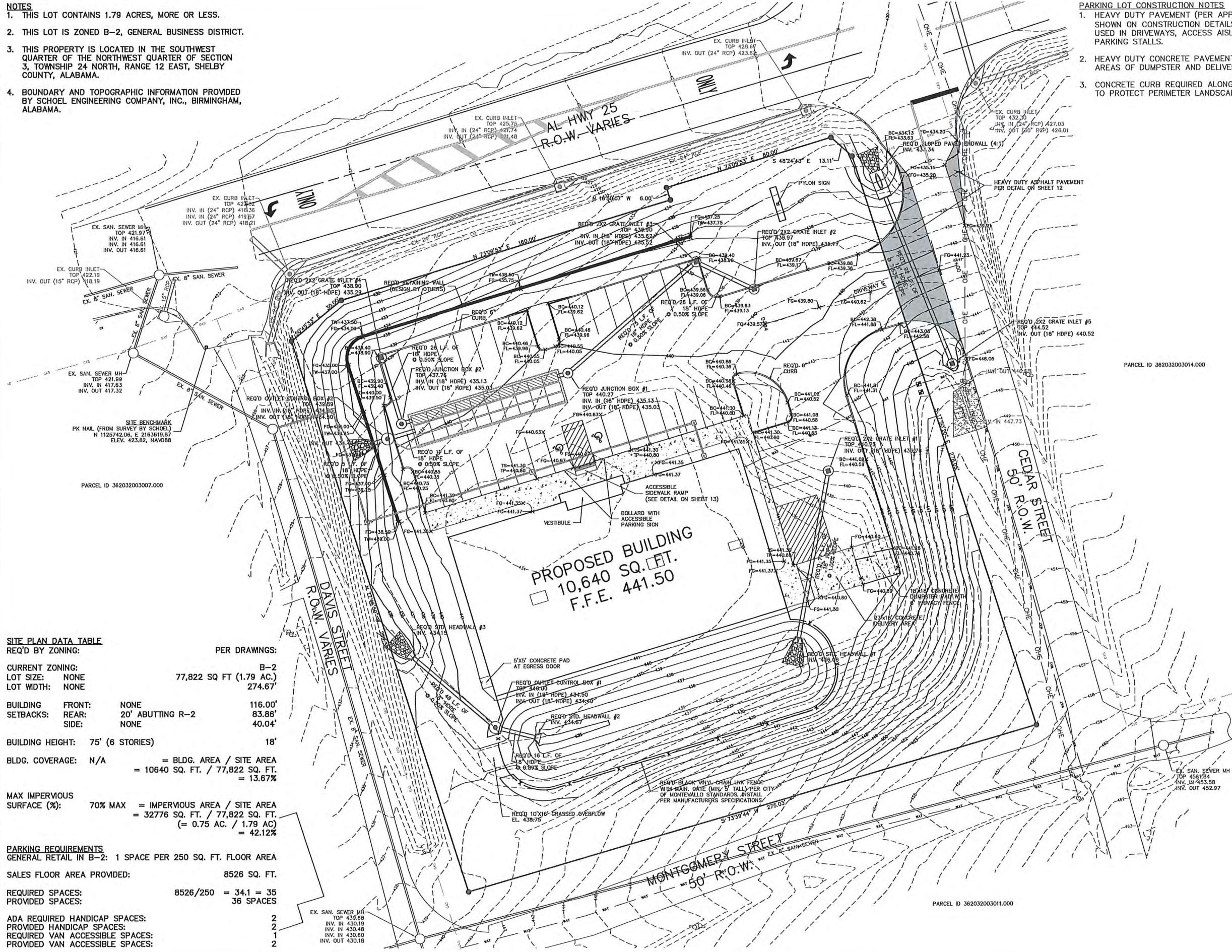


SP20-001
Dollar General-Hwy 25
New Retail Store

Storm Water Management Plans



- NOTES**
1. THIS LOT CONTAINS 1.79 ACRES, MORE OR LESS.
 2. THIS LOT IS ZONED B-2, GENERAL BUSINESS DISTRICT.
 3. THIS PROPERTY IS LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 24 NORTH, RANGE 12 EAST, SHELBY COUNTY, ALABAMA.
 4. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY SCHOEL ENGINEERING COMPANY, INC., BIRMINGHAM, ALABAMA.



SITE PLAN DATA TABLE
REQ'D BY ZONING:

	PER DRAWINGS:	B-2
CURRENT ZONING:		B-2
LOT SIZE:	77,822 SQ FT (1.79 AC.)	
LOT WIDTH:	274.67'	
BUILDING FRONT:	NONE	116.00'
SETBACKS REAR:	20' ABUTTING R-2	83.86'
SIDE:	NONE	40.04'
BUILDING HEIGHT:	75' (6 STORIES)	18'
BLDG. COVERAGE:	N/A	
	= BLDG. AREA / SITE AREA	
	= 10640 SQ. FT. / 77,822 SQ. FT.	= 13.67%
MAX IMPERVIOUS SURFACE (%):	70% MAX	
	= IMPERVIOUS AREA / SITE AREA	
	= 32776 SQ. FT. / 77,822 SQ. FT.	(= 0.75 AC. / 1.79 AC.)
		= 42.12%

PARKING REQUIREMENTS
GENERAL RETAIL IN B-2: 1 SPACE PER 250 SQ. FT. FLOOR AREA

SALES FLOOR AREA PROVIDED: 8526 SQ. FT.

REQUIRED SPACES: 8526/250 = 34.1 = 35
PROVIDED SPACES: 36 SPACES

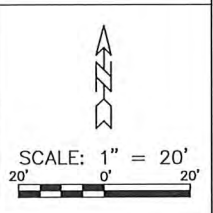
ADA REQUIRED HANDICAP SPACES: 2
PROVIDED HANDICAP SPACES: 2
REQUIRED VAN ACCESSIBLE SPACES: 1
PROVIDED VAN ACCESSIBLE SPACES: 2

- PARKING LOT CONSTRUCTION NOTES**
1. HEAVY DUTY PAVEMENT (PER APPROPRIATE DETAIL SHOWN ON CONSTRUCTION DETAILS SHEET) TO BE USED IN DRIVEWAYS, ACCESS AISLES, AND VEHICULAR PARKING STALLS.
 2. HEAVY DUTY CONCRETE PAVEMENT TO BE USED IN AREAS OF DUMPSTER AND DELIVERY PADS.
 3. CONCRETE CURB REQUIRED ALONG EDGE OF PARKING TO PROTECT PERIMETER LANDSCAPING.



DRAWN BY:	JAC
DATE:	12-30-2019
REVISED:	03-24-2020
SITE PLAN	
SHEET 4 OF 16	

NEW RETAIL STORE
AL HWY 25
MONTEVALLO, AL
SHELBY COUNTY



SITE QUANTITIES

BUILDING SLAB	11036 SQ. FT.
BUILDING SIDEWALKS	1994 SQ. FT.
ON-SITE PAVEMENT	18684 SQ. FT.
DELIVERY/DUMPSTER AREA	810 SQ. FT.
6" CURB	504 LIN. FT.

R.O.W. QUANTITIES

DRIVEWAY PAVEMENT	1225 SQ. FT.
6" CURB	47 LIN. FT.
CEDAR ST. PAVEMENT	130 SQ. FT.

RETAINING WALL* (FILL WALL)

AREA (INCLUDING 1FT EMBED)	854 SQ. FT.
LENGTH	254 LIN. FT.
MAXIMUM HEIGHT	4 FT.

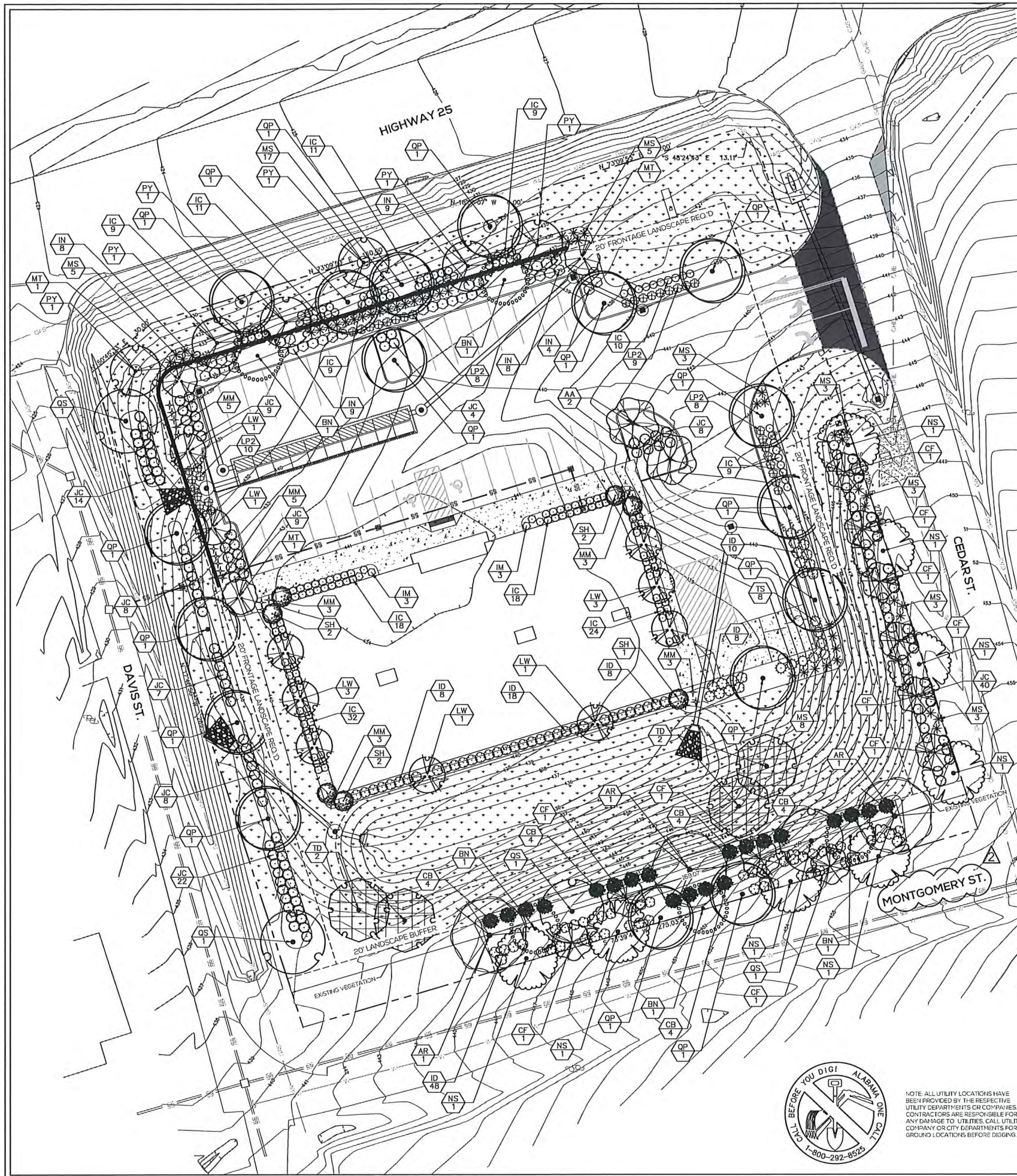
*NOTE: QUANTITIES SHOWN ARE APPROXIMATE AND DO NOT REPRESENT ACTUAL WALL DESIGN PERFORMED BY OTHERS.

ENGINEER'S OPINION OF EARTHWORK

CUT:	1035 CU. YD.
FILL:	8880 CU. YD.*

NOTE: VOLUMES DO NOT ACCOUNT FOR SHRINK/SWELL, BUILDING DEMOLITION, REMOVAL OF UNSUITABLE MATERIAL, UTILITY INSTALLATION, ETC.

* ADJUSTED TO INCLUDE AN ESTIMATED TOPSOIL REPLACEMENT VOLUME OF 810 CU. YD. (BASED ON AN ASSUMED 6" OF TOPSOIL REMOVAL ACROSS FILL AREAS OF SITE).



LANDSCAPE NOTES:

- CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF UNDERGROUND UTILITIES ON THE SITE. REPAIR DAMAGED UTILITIES TO OWNER'S SATISFACTION AT NO ADDITIONAL COST.
- VERIFY QUANTITIES ON PLANS BEFORE PRICING WORK AND PROVIDE PLANT MATERIAL IN SIZES AND VARIETIES SHOWN ON THE DRAWINGS AND PLANT LIST.
- ALL PLANT MATERIAL SHALL BE GUARANTEED ONE FULL YEAR, FREE REPLACEMENT ON LABOR & MATERIAL. SEPARATE AGREEMENT WITH INSTALLER SHALL BE PROVIDED, TO INCLUDE CONTACT NAME/PH NUMBERS.
- SOD ALL AREAS ACCORDING TO LANDSCAPE PLAN AND SEED ALL OTHERS.
- LANDSCAPE ARCHITECT MAY OR MAY NOT AT HIS/HER DISCRETION ACCEPT SUBSTITUTIONS.
- PROVIDE FRESHLY DUG TREES AND SHRUBS. DO NOT USE NATURALLY COLLECTED MATERIALS.
- PLANT MATERIAL STORED ON THE SITE MORE THAN 8 HOURS PRIOR TO PLANTING SHALL BE HEELED IN WITH MULCH AND KEPT MOIST.
- INSTALL ALL PLANT MATERIALS IN ACCORDANCE WITH ALL LOCAL CODES AND ORDINANCES.
- STAKE PLANT LOCATIONS FOR APPROVAL BY LANDSCAPE ARCHITECT BEFORE INSTALLATION. ADJUST STAKE LOCATIONS AS DIRECTED.
- ALL PLANTS SHALL MEET SPECIFICATIONS. ROOTBALLS SHALL MEET OR EXCEED SIZE STANDARDS SET FORTH IN ANSI Z601, 'AMERICAN STANDARD FOR NURSERY STOCK'. MAIN LEADERS OF ALL TREES SHALL REMAIN INTACT.
- MULCH PLANT PITS AND PLANTING BEDS WITH PINE STRAW OR SHREDDED WOOD CHIPS TO A DEPTH OF 3 INCHES.
- PREPARE ALL TOPSOIL TO BE USED IN ALL PLANTING AREAS IN THE FOLLOWING PROPORTIONS:
 4 PARTS TOP SOIL
 2 PARTS DECOMPOSED ORGANIC MATTER
 1 PART APPROVED SOIL AMENDMENT
 1 PART MYCORRHIZAE FUNGI PER MANUFACTURER SPEC'S
- REMOVE FROM SITE ANY PLANT MATERIAL WHICH TURNS BROWN OR DEFOOLIATES WITHIN 5 DAYS AFTER PLANTING. REPLACE IMMEDIATELY WITH APPROVED SPECIFIED PLANT MATERIAL.
- WHEN LANDSCAPE WORK IS COMPLETE, LANDSCAPE ARCHITECT WILL, UPON REQUEST MAKE AN INSPECTION TO DETERMINE ACCEPTABILITY.
- MAINTAIN ALL PLANT MATERIAL UNTIL THE JOB IS ACCEPTED IN FULL BY THE LANDSCAPE ARCHITECT UNLESS OTHERWISE SPECIFIED.
- LOCATE PLANT MATERIAL PRIOR TO SUBMITTING BID / OR QUALIFY BID WITH RECOMMENDED PLANT SUBSTITUTIONS. SUBMISSION OF BID SHALL CONSTITUTE CONTRACTOR'S ACCEPTANCE OF PLANT AVAILABILITY.
- ALL TREES WILL BE MULCHED WITH PINE STRAW OR SHREDDED WOOD CHIPS, AND BE STAKED AS SHOWN ON DRAWINGS. STAKES AND GUY WIRE TO BE REMOVED BY AND REMAIN THE PROPERTY OF THE CONTRACTOR.

CITY OF MONTEVALLO LANDSCAPE REQUIREMENTS

FRONTAGE LANDSCAPE (HWY 25): 236 LF
 1 LARGE TREE OR 3 SMALL TREES AND 10 S-RUBS PER 40 LF
 PER/ETER TREES REQUIRED = 5 (16) LARGE TREES OR 17 (16) SMALL TREES
 PER/ETER TREES PROVIDED = 4 LARGE TREES & 8 SMALL TREES
 PER/ETER S-RUBS REQUIRED = 59
 PER/ETER S-RUBS PROVIDED = 59

FRONTAGE LANDSCAPE (CEDAR ST.): 205 LF (LESS DRIVE ENTRANCE)
 1 LARGE TREE OR 3 SMALL TREES AND 10 S-RUBS PER 40 LF
 PER/ETER TREES REQUIRED = 5 (16) LARGE TREES OR 15 (16) SMALL TREES
 PER/ETER TREES PROVIDED = 4 LARGE TREES & 8 SMALL TREES
 PER/ETER S-RUBS REQUIRED = 51.25 (52)
 PER/ETER S-RUBS PROVIDED = 52

FRONTAGE LANDSCAPE (DAVIS ST.): 236 LF
 1 LARGE TREE OR 3 SMALL TREES AND 10 S-RUBS PER 40 LF
 PER/ETER TREES REQUIRED = 5 (16) LARGE TREES OR 17 (16) SMALL TREES
 PER/ETER TREES PROVIDED = 6 LARGE TREES
 PER/ETER S-RUBS REQUIRED = 59
 PER/ETER S-RUBS PROVIDED = 59

INTERIOR LANDSCAPE:
 1 TREE AND 4 S-RUBS PER 150 SF OF LANDSCAPE AREA
 INTERIOR TREES REQUIRED = 3
 INTERIOR TREES PROVIDED = 3
 INTERIOR S-RUBS REQUIRED = 12
 INTERIOR S-RUBS PROVIDED = 12

PERIMETER LANDSCAPE:
 1 LARGE TREE PER 40 LF AND 10 S-RUBS FOR 30 LF
 50 LF OF 10' LANDSCAPE BUFFER
 PER/ETER TREES REQUIRED = 13
 PER/ETER TREES PROVIDED = 13
 PER/ETER S-RUBS REQUIRED = 173 (3074)
 PER/ETER S-RUBS PROVIDED = 174

FOUNDATION LANDSCAPE:
 1 SMALL TREE AND 10 S-RUBS PER 25 LF
 260 LF OF 5' LANDSCAPE STRIP
 FOUNDATION S-RUBS REQUIRED = 14 (405)
 FOUNDATION S-RUBS PROVIDED = 15
 FOUNDATION S-RUBS REQUIRED = 144
 FOUNDATION S-RUBS PROVIDED = 144

BUFFER C LANDSCAPE (R-2):
 6 LARGE TREES, 4 SMALL TREES, AND 40 S-RUBS PER 100 LF
 189 LF OF 20' LANDSCAPE BUFFER
 BUFFER C LARGE TREES REQUIRED = 10 (140)
 BUFFER C LARGE TREES PROVIDED = 11
 BUFFER C SMALL TREES REQUIRED = 6 (76)
 BUFFER C SMALL TREES PROVIDED = 7
 BUFFER C S-RUBS REQUIRED = 67 (668)
 BUFFER C S-RUBS PROVIDED = 68

PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME	CONT	GAL	HEIGHT	QTY
AR	Acer rubrum 'PNI 0268' TM / October Glory Maple	B&B	2.5" Cal.		3
AA	Amelanchier x grandiflora / Apple Serviceberry	B&B	2" Cal.	10' MIN.	2
BN	Betula nigra / River Birch Multi-Trunk	B&B	2" Cal.	10' MIN.	5
CF	Cornus florida / Eastern Dogwood	B&B	2" Cal.	10' MIN.	10
SH	Ilex x 'Nellie R. Stevens' / Nellie R. Stevens Holly STD Limbed to 5'	15 Gal.		6' Min.	7
LW	Lagerstroemia x 'Natchez' / White Crape Myrtle Multi-Trunk	B&B	2" Cal.	10' MIN.	10
MT	Magnolia grandiflora 'Teddy Bear' / Teddy Bear Southern Magnolia	B&B	2" Cal.	10' MIN.	3
NS	Nyssa sylvatica / Sour Gum	B&B	2" Cal.	10' MIN.	8
PY	Prunus x yedoensis / Yoshino Cherry	B&B	2" Cal.	10' MIN.	6
QP	Quercus phellos / Willow Oak	B&B	2" Cal.	10' MIN.	17
QS	Quercus shumardii / Shumard Red Oak	B&B	2" Cal.	10' MIN.	4
TD	Taxodium distichum / Bald Cypress	B&B	2" Cal.	10' MIN.	4
SHRUBS	BOTANICAL / COMMON NAME	CONT	HEIGHT	QTY	
CB	Cleyera japonica 'Bronze Beauty'	3 GAL.	24" Min.	20	
IC	Ilex cornuta 'Carissa' / Carissa Holly	3 GAL.	18" Min.	160	
ID	Ilex cornuta 'Dwarf Burford' / Dwarf Burford Holly	3 GAL.	24" Min.	100	
IN	Ilex vomitoria 'Nana' / Dwarf Yaupon	3 GAL.	18" min	38	
IM	Itea virginica 'Merlot' / Sweetspire	3 GAL.	18" Min.	6	
JC	Juniperus chinensis 'Armstrongii' / Armstrong Juniper	3 GAL.	18" Min.	129	
LP2	Loropetalum chinense 'Purple Diamond' / Fringe Flower	3 GAL.	24" Min.	35	
MS	Miscanthus sinensis 'Adagio' / Adagio Maiden Grass	3 GAL.	18" Min.	50	
MM	Miscanthus sinensis 'Morning Light' / Eulalia Grass	3 GAL.	18" Min.	22	
	Miscanthus sinensis 'Smaragd' / Emerald Green Arborvitae	7 GAL.	5" Min.	8	

SOD SCHEDULE

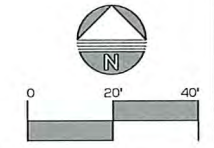
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	CD	Cynodon dactylon / Bermuda Grass	SOD		27,919 sf

NOTE: THE OWNER, LESSEE, OR HIS AGENT SHALL BE RESPONSIBLE FOR PROVIDING, MAINTAINING, AND PROTECTING ALL LANDSCAPING IN A HEALTHY AND GROWING CONDITION, AND FOR KEEPING IT FREE FROM REFUSE AND DEBRIS. ALL UNHEALTHY AND DEAD MATERIALS SHALL BE REPLACED WITHIN ONE YEAR AFTER NOTIFICATION OR DURING THE NEXT APPROPRIATE PLANTING PERIOD, WHICHEVER COMES FIRST.

NOTE: THE SOD SHALL BE PLACED ON THE PREPARED SURFACE WITH THE EDGES IN CLOSE CONTACT. CRACKS BETWEEN BLOCKS OF SOD SHALL BE CLOSED WITH SMALL PIECES OF SOD, AND ACCEPTABLE LOAMY TOP SOIL SHALL BE USED TO FILL JOINTS. THE ENTIRE SODDED AREA SHALL THEN BE TAMPED IN PLACE IN A SATISFACTORY MANNER AND WATERED AS NECESSARY.



NOTE: ALL UTILITY LOCATIONS HAVE BEEN PROVIDED BY THE RESPECTIVE UTILITY DEPARTMENTS OR COMPANIES. CONTRACTORS ARE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES. CALL UTILITY COMPANY OR CITY DEPARTMENTS FOR GROUND LOCATIONS BEFORE DIGGING.



SCHODEL

Civil Engineering | Land Surveying | Landscape Architecture
 Environmental | Water Resources | Laser Scanning | Modeling

1001 22nd Street South
 Birmingham, Alabama 35214
 205.833.1141 | Fax: 205.833.1121
 www.schodel.com

STATE OF ALABAMA
 Commission on Professional Registration
 No. 638
 LICENSED LANDSCAPE ARCHITECT

MONTEVALLO STORE (HWY 25)
NEW RETAIL STORE

SECTION TOWNSHIP 24 NORTH RANGE 12 EAST

REVISIONS:
 02.10.2020 - CITY OF MONTEVALLO DISHELY COUNTY COMMENTS AND CLIENT COMMENTS
 03.26.2020 - CITY OF MONTEVALLO COMMENTS

LANDSCAPE PLAN

DATE: 01-02-2019
 DRAWN BY: C. ORCUTT
 CHECKED BY: C. ORCUTT
 PROJECT NO.: 19278.HO

L-1.0

- NOTES**
1. THIS LOT CONTAINS 1.79 ACRES, MORE OR LESS.
 2. THIS LOT IS ZONED B-2, GENERAL BUSINESS DISTRICT.
 3. THIS PROPERTY IS LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 24 NORTH, RANGE 12 EAST, SHELBY COUNTY, ALABAMA.
 4. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY SCHOEL ENGINEERING COMPANY, INC., BIRMINGHAM, ALABAMA.

- FLOOD ZONE NOTES**
1. THIS PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "X" (OUT-UNSHADED).
 2. ZONE "X" (OUT-UNSHADED) DENOTES AREAS TO BE DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
 3. PROPERTY SHOWN ON FIRM PANEL 01117C0503E, REVISED FEBRUARY 20, 2013.

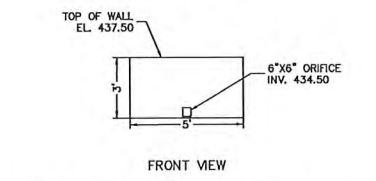
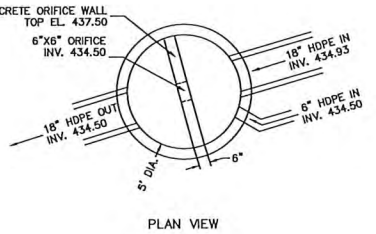
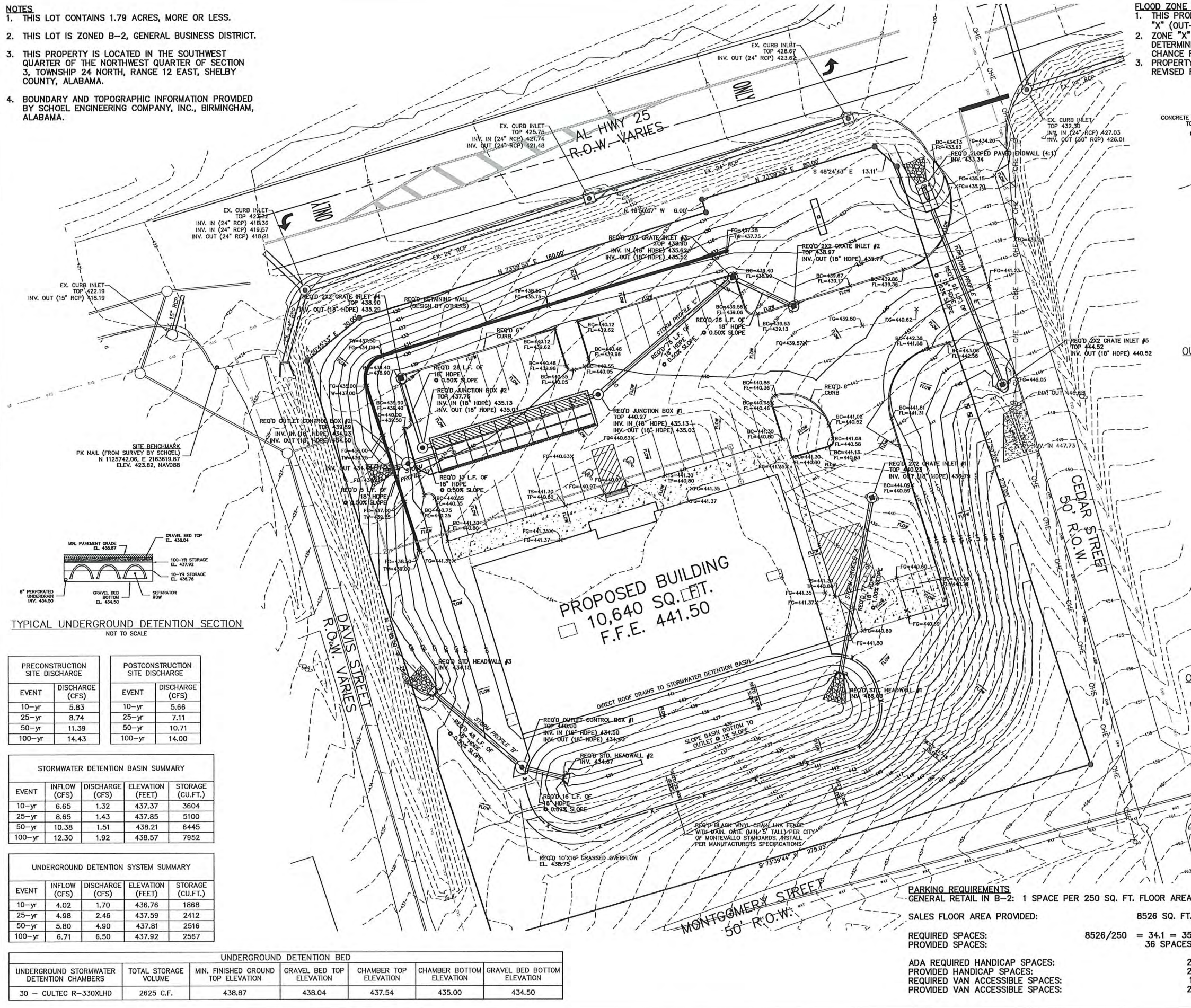
Broadway Management, LLC
 216 Woodside Square - Birmingham, AL 35209
 Phone: (205) 539-7887 • Fax: (205) 539-7826

DRAWN BY: JAC
 DATE: 12-30-2019
 REVISED: 03-24-2020
 STORMWATER MANAGEMENT PLAN
 SHEET 8 OF 16

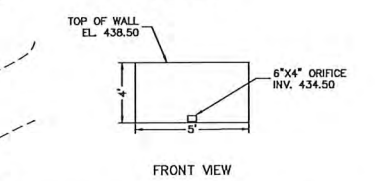
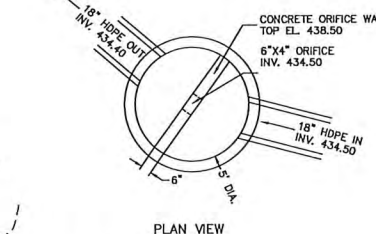
NEW RETAIL STORE
 AL HWY 25
 MONTEVALLO, AL
 SHELBY COUNTY



SCALE: 1" = 20'
 20' 0' 20'



OUTLET CONTROL BOX #2 DETAIL
 NOT TO SCALE



OUTLET CONTROL BOX #1 DETAIL
 NOT TO SCALE

TYPICAL UNDERGROUND DETENTION SECTION
 NOT TO SCALE

PRECONSTRUCTION SITE DISCHARGE		POSTCONSTRUCTION SITE DISCHARGE	
EVENT	DISCHARGE (CFS)	EVENT	DISCHARGE (CFS)
10-yr	5.83	10-yr	5.86
25-yr	8.74	25-yr	7.11
50-yr	11.39	50-yr	10.71
100-yr	14.43	100-yr	14.00

STORMWATER DETENTION BASIN SUMMARY				
EVENT	INFLOW (CFS)	DISCHARGE (CFS)	ELEVATION (FEET)	STORAGE (CU.FT.)
10-yr	6.65	1.32	437.37	3604
25-yr	8.65	1.43	437.85	5100
50-yr	10.38	1.51	438.21	6445
100-yr	12.30	1.92	438.57	7952

UNDERGROUND DETENTION SYSTEM SUMMARY				
EVENT	INFLOW (CFS)	DISCHARGE (CFS)	ELEVATION (FEET)	STORAGE (CU.FT.)
10-yr	4.02	1.70	436.76	1868
25-yr	4.98	2.46	437.59	2412
50-yr	5.80	4.90	437.81	2516
100-yr	6.71	6.50	437.92	2567

UNDERGROUND DETENTION BED						
UNDERGROUND STORMWATER DETENTION CHAMBERS	TOTAL STORAGE VOLUME	MIN. FINISHED GROUND TOP ELEVATION	GRAVEL BED TOP ELEVATION	CHAMBER TOP ELEVATION	CHAMBER BOTTOM ELEVATION	GRAVEL BED BOTTOM ELEVATION
30 - CULTEC R-330XLHD	2625 C.F.	438.87	438.04	437.54	435.00	434.50

PARKING REQUIREMENTS
 GENERAL RETAIL IN B-2: 1 SPACE PER 250 SQ. FT. FLOOR AREA

SALES FLOOR AREA PROVIDED: 8526 SQ. FT.
 REQUIRED SPACES: 8526/250 = 34.1 = 35
 PROVIDED SPACES: 36 SPACES

ADA REQUIRED HANDICAP SPACES: 2
 PROVIDED HANDICAP SPACES: 2
 REQUIRED VAN ACCESSIBLE SPACES: 1
 PROVIDED VAN ACCESSIBLE SPACES: 2

SITE PLAN DATA TABLE

REQ'D BY ZONING:	PER DRAWINGS:
CURRENT ZONING:	B-2
LOT SIZE:	NONE 77,822 SQ FT (1.79 AC.)
LOT WIDTH:	NONE 274.67'
BUILDING FRONT SETBACKS:	FRONT: NONE 116.00' REAR: 20' ABUTTING R-2 83.86' SIDE: NONE 40.04'
BUILDING HEIGHT:	75' (6 STORIES) 18'
BLDG. COVERAGE:	N/A = BLDG. AREA / SITE AREA = 10640 SQ. FT. / 77,822 SQ. FT. = 13.67%
MAX IMPERVIOUS SURFACE (%):	70% MAX = IMPERVIOUS AREA / SITE AREA = 32776 SQ. FT. / 77,822 SQ. FT. (= 0.75 AC. / 1.79 AC) = 42.12%